



**PLANNING COMMISSION
WEDNESDAY, May 12, 2021
5:30 PM**

EFFECTIVE 05/03/2021: BY ORDER OF MAYOR ZACK TYNDALL: All Board and Commission Meetings will be held in-person with NO public in attendance and will be streamed live on Facebook for viewing only.

Meeting packets will be posted by 5:00 p.m. on the Friday before the meeting.

- Advance questions will be accepted until 12:00 PM/NOON on the day of the meeting. Submit to:
 - Email: info@berlinmd.gov; please use Meeting Questions as your subject
 - Fax: 410-641-2316
 - Mail: Berlin Town Hall, Attn: Meeting Questions, 10 William St., Berlin, MD 21811. Mail should be posted no later close of business on the Friday before the meeting to help ensure delivery.
 - Drop boxes Town Hall – one is at the rear of the building on the parking lot, and the other is at the corner of Bay and Williams Street on the building.
- Questions and Comments during the meeting:
 - Unless a Public Hearing is being held, questions and comments will NOT be taken via Facebook.
- **PUBLIC HEARINGS**: If a public hearing is scheduled, questions will also be taken via Facebook during the Public Hearing portion of that meeting. A staff member will monitor the questions for duplicates, language, and appropriateness to the Public Hearing topic. Responses will be given out loud via the live stream; they WILL NOT be given via the comments on Facebook.

Meeting attendance will be limited to Board and Commission members, authorized personnel, and presenters as appropriate.

To watch the Meeting on Facebook, please click on the blue Facebook icon at the top of any page on the Town website, www.berlinmd.gov, or type @berlinmd in the Facebook search bar.

Your patience and understanding as we work to meet the restrictions on gatherings while still conducting Town business is truly appreciated.

To receive future meeting notifications directly to your email, please sign-up at the bottom of any page on [our website](#).

Staff Report for the Berlin Planning Commission

Meeting Date: May 12, 2021

5:30 PM

Tonight's first application is a request for a revision to a Site Plan Approval for Purnell Crossing North, first granted during the March 13, 2019 Planning Commission meeting for the Atlantic Premier at Purnell Crossing.

New ownership has altered the site plan by reducing the overall density of townhouse rental units from 36 total units housed in 7 separate buildings, to the current proposed 34 units to be housed in 6 separate buildings. The 4 unit building at the center of the development will also be repositioned to move closer and now face the cul-de-sac, instead of the rear facing the existing units on Sunlight Lane. Staff recommends the revision since it represents a further reduction in density and more open space overall, as well as an improved streetscape for existing condominium owners on Sunlight Lane.

Tonight's second application is a request for Site Plan Approval from Megan and Brett Hines of the Buzz Meadery, LLC to build a community greenspace with parking and seating for outdoor events and dining to be located at 21 Jefferson Street. Site Plan Approval had previously been granted to the current owner of the property, Habitat for Humanity, for a mixed-use building, but that use is no longer economically feasible, and the Hines are contract purchasers of the parcel. The parcel is zoned B-1 Town Center District, and also lies within the Berlin Historic District boundaries. The extent of new improvements are the addition of 42 inch high fencing, overhead pergolas, lighting, seating, picnic tables, landscaping and foliage.

The project was granted approval from the Berlin Historic District Commission on Wednesday, May 5, 2021 after much discussion and public input. The unanimous motion for approval called for approval of the Berlin Police Department and Chief Downing on the height and placement of the fencing at the triangular intersection of Jefferson and Gay Streets.

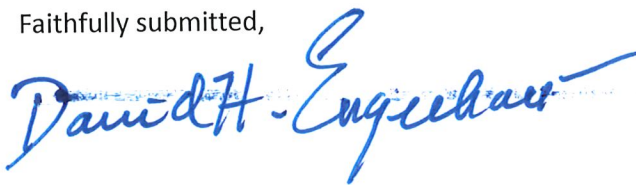
Other items of note from the meeting included:

- No portable restroom(s) were to be permanent on site.
- Lighting would be set on timers.
- Signage would be installed detailing the site as private property available for public use when Buzz Meadery events are not scheduled.
- Security cameras would be in place.
- Trash collection is the responsibility of the property owner, and receptacles will be properly screened.
- The owners hold a Class 4 MD State Winery License (which I have enclosed in your packets) which allows them to serve their mead and wine products off-premises from their production facilities on this site.

- The owners anticipate up to 32 events per year.
- Prior to 12 noon the day of the meeting, per Covid-19 public meeting policy, the Planning Office received public input in the form of 89 letters, calls, emails, and items forwarded from Facebook before the cutoff, and more after. 87 responses were in favor or support of the project, and two were in the negative.

Staff recommends approval of the request, as it represents a low impact on the surrounding area, increased open and green space for the Downtown area, and the overwhelming support of the community.

Faithfully submitted,

A handwritten signature in blue ink that reads "David H. Engelhart". The signature is written in a cursive style with a long horizontal stroke at the end.

Planning Director



Mayor & Council of Berlin

10 William Street, Berlin, Maryland 21811

Phone 410-641-2770 Fax 410-641-2316

www.berlinmd.gov

Town of Berlin Planning Commission May 12, 2021

5:30 PM

Berlin Town Hall – Council Chambers

- 1. Call to Order**
- 2. Agenda Adoption**
- 3. Approval of Minutes – February 10th & 24th 2021**
- 4. Revised Purnell Crossing South P.U.D**
- 5. Revised Purnell Crossing North P.U.D**
- 6. Site Plan Approval - Buzz Meadery 21 Jefferson Street**
- 7. Comments from the Commissioners**
- 8. Comments from the Chairman**
- 9. Comments from the Public**
- 10. Comments from Staff**
- 11. Adjournment**

Town of Berlin
Planning Commission
February 10th, 2021

Chairman Chris Denny called the Planning Commission Meeting for February 10th, 2021 to order at 5:31PM on Zoom. Member's present on Zoom were Chris Denny, Pete Cosby, Matt Stoehr, Austin Purnell, Phyllis Purnell, and D. J. Lockwood. Absent from the meeting were Ron Cascio and Newt Chandler. Staff present was Planning Director Dave Engelhart and Permit Coordinator Carolyn Duffy.

Chairman Chris Denny called for a motion to adopt the agenda. Mr. Pete Cosby made the motion to adopt the February 10th, 2021 agenda. Mr. Austin Purnell seconded that motion, and it was unanimously accepted by the commission. Chairman Chris Denny called for a motion to approve the minutes from the November 18th, 2020 meeting. Mr. Pete Cosby made the motion to approve the minutes from the November 18th, 2020 meeting. Mrs. Phyllis Purnell seconded the motion, and it was unanimously accepted by the commission.

Chairman Chris Denny stated that on item # 4 was election of the Chairman. Chairman Chris Denny asked for nominations for Chairman. Mr. Pete Cosby nominated Chris Denny for Chairman. Mrs. Phyllis Purnell seconded the motion. Chairman Chris Denny accepted the nomination to remain seated as Chairman for the commission. The vote was unanimous. Chairman Chris Denny called for a nomination for Vice Chairman. Mr. Pete Cosby nominated Mr. Matt Stoehr for Vice Chairman. Mrs. Phyllis Purnell seconded the motion, and it was unanimously accepted.

Chairman Chris Denny called the next item on the agenda for Site Plan Approval for the Auto Zone Store #4480 located at 10712 Ocean Gateway. Mr. Kevin Murphy the applicant was present on Zoom he stated he was glad the board could hear them. Mr. Gene Dvorchak was present by phone. Chairman Chris Denny stated he noticed the engineers license had expired. Mr. Murphy stated it had been renewed from last year for two more years. Mr. Gene Dvorchak stated they are proposing to tear down the existing McDonalds that has not been operating for a while. He stated they will demolish the building and construct a new building with sidewalk and some new paving. Some of it will be taken down to subgrade with new asphalt on top. They have been contacted by State Highway to relocate the entrance. They have the engineers working on that and awaiting approval. They have a color elevation on the screen which is the prototype for their company. He stated they are looking for land development approval and getting the building permit application started.

Chairman Chris Denny asked what State Highway wanted them to change and asked what it entailed. Mr. Dvorchak stated it did not meet the distance requirements of SHA currently. He stated the location has been approved with SHA they have verbal approval on the location, and they have fully engineered plans submitted for approval. He stated it shifted about 30 feet a little further East. Planning Director Dave Engelhart stated to give some deceleration time from the light on U. S. Route 50. Chairman Chris Denny asked if they had any other options besides

this building. Mr. Dvorchak stated this was their prototype and they did not have architectural standards to have enhance anything by the code. Chairman Denny asked did they have anything with a pitched roof or are they pretty much flat roof. Mr. Dvorchak stated they have no pitched roof they coordinate that if it is in a local ordinance that they have too. Mr. Matt Stoeckl stated he remembered that location is known to flood when it rained. Mr. Dvorchak stated a stormwater system has been designed for it towards the back and front. Mr. Engelhart stated they would have E. A. Engineers looking at the stormwater. Mr. Dvorchak stated they do have an approval from them that will be included in the design. The package that was submitted. Chairman Chris Denny asked about the status of the Harley Davidson Building. Mr. Engelhart stated that Royal Farms owns that building. No change as far as he knew using it for storage. Mrs. Purnell asked if they are still using the driveways that are there. Chairman Denny and Mr. Engelhart stated that will stay the same right now. Mr. Engelhart stated if someone develops that property then there might be changes.

Mr. Pete Cosby asked about the fee simple title to the land. Mr. Dvorchak replied he thought it would be ground lease for them. Mr. Cosby asked if they would lease from Two Farms Inc. Mr. Dvorchak replied that was correct it belongs to Royal Farms. Mr. Cosby asked if it was a 99-year lease. Mr. Dvorchak stated it was a 15 year and 5-year extension up to thirty years. Mr. Cosby stated he knew they liked to use their corporate stores, but this was a nightmare as far as what Berlin is trying to do with the buildings. He stated he knew they were out of the zone if you looked across the street. He stated it would be nice to have consideration with a more coastal style building with a pitched roof. He stated bending over for corporate is not good for Berlin. He stated we have something special going on and want to keep it that way. Mr. Cosby stated they did let Arby's and Royal Farms do their corporate style. Chairman Denny stated Arby's did do some adjustments. Mr. Cosby stated they did soften the style a little bit. He stated but this is a Frankenstein for our town not what we want to see. We want colonial brick and pitched roof he asked Mr. Engelhart, do we have responsibility in how it looks. Mr. Engelhart replied yes and in the architectural design of it. He said he wanted to open this up to the rest of the board also this building is so obtrusive can you soften it somehow, he asked.

Chairman Denny asked if Auto Zone has a design with a pitched roof. Mr. Murphy stated he could not go to a pitched roof but could offer a couple of enhancements. The pitched roof he stated would be a budget buster and it is not in the code for us to do it. He stated what he could offer was an earth tone prototype they take out the gray and put in beige and cream colors. This would be nothing out of the ordinary for them to do he stated. Chairman Denny stated the west side of the building looks like where inventory would come in is their something you can do along there put in a window or even a fake window something to soften the look. Mr. Murphy stated what he could do on the front and left side is rise the parapets to have roof height variation. The sign on front would go up to 23 foot, you would have a section on the front, right and left different heights can also put a cornice around the roof line it will give some projection as well as the parapet variation. He stated he could put some faux windows on the right side where delivery goes west side. Mr. Cosby stated the west wall has the two doors and you can put the faux windows in there. Mr. Murphy replied yes, he could put the faux windows in there. Mr. Cosby asked about the east side could you put one there. Mr. Murphy stated he would be

willing for one to go along the front the same distance of the right-hand side. He would put it the same distance off the front on the left and right which would be the east and west the west would get a second one. Mr. Cosby asked was there a reason they could not get a second one on the east side. Mr. Murphy replied two is fine. Mr. Cosby asked how big the windows would be. Mr. Murphy stated they would be the size of the windows on the front. He stated once again these are faux windows not going into the building. They will be the same size 9ft 8 tall 12ft elevation all the way up. Mr. Cosby stated and placed in an attractive balance on there. He stated it would be a breakup of that wall in an architecturally way. Mr. Murphy stated he could break up the wall in another way due to the fact he would be rising the parapet heights they are true store front mullions installed to the wall they do appear to be real but are just store front mullions attached to the wall. Mr. Engelhart stated very similar to what was approved for Dollar General on Decatur Street. Mr. Murphy stated they do not knock- out the wall they are just casings that are attached right to the wall. Mr. Cosby stated he would like to see the plans and he appreciated them softening the look. Would like to see the plans before they approve it, and you can show the color scheme as well.

Mr. Murphy asked was there any way they could get an approval on an elevation that is acceptable. He stated only to keep the application moving forward and getting the approval complete. Mr. Matt Stoehr asked to hold a special meeting in two weeks so they can get the drawing a then we can look at the drawings for approval. The turnaround would not be the full month and we then could approve it. Mr. Cosby thought that was a good idea. Mr. Kevin Murphy asked if he could have a minute, he would try to pull one up that they had done. So, he tried to send it to Ms. Mary Bohlen. While waiting Mr. Cosby stated he did not see a lighting plan or landscape plan. Mr. Engelhart stated landscaping was on L1.0 in the large set of drawings. Mr. Murphy stated he had sent Ms. Bohlen an earth tone rendering, and this was in Westminster Maryland. Mr. Dvorchak stated it has faux windows and to the rear of the building it was more visible, and it has the faux windows and on three sides have the parapet. The elevation was 19 & 20 he is proposing 21 & 23 he stated the decorative cornices. He stated he could offer textured c.m.u no extra cost from their budget has a rough edge on it instead of just a flat surface. He continued to give description of the c.m.u. Mr. Engelhart stated more of a sandy texture.

Mr. Cosby asked about trees. What are you planning to put just shrubbery in. Mr. Dvorchak stated they went with the shrubs because of them being in front and for screening for the head lights. Mr. Cosby asked if there was parking down the east side of the building. Mr. Dvorchak stated he was not sure where to put stuff on the east side because of the deliveries and the parking was outside of the lease area. Mr. Dvorchak stated where the Old McDonalds was is where the property line is. He stated along the back is the stormwater management system on the southern side. Mr. Cosby stated he still wanted to see the plan and thought a couple of trees could be placed out there to soften the building. Mr. Dvorchak said he wanted to state the plans were done to town code and if he knew of the changes, he would have put that in the drawing. He has no problem adding trees if you think that will help. Mr. Cosby stated he is not going to approve a building that he is not looking at. He stated the building can be soften and he wants to know it is being softened, want to see the color and the landscaping plan. Mr. Dvorchak stated

they have a gas lines going along the side and do not have space to put trees. He stated they cannot put trees that would obstruct the sight triangle for State Highway. Stormwater system up front slopes in so really cannot plant in the stormwater system. Do not have extra space to put trees. Chairman Chris Denny stated when they go to redevelop Harley Davidson is when you can get trees in the parking lot. Mr. Cosby stated not the monumental trees but 10 to 15 feet trees he said he is not convinced that trees cannot go in there they have to convince him.

Comment from Mr. Tony Weed thanked Mr. Cosby for standing up for what we need in Berlin. The developer should fit in with our design and thanked Mr. Cosby. Chairman Denny agreed with Mr. Cosby for them to come back in a couple of weeks for better renderings of what they have asked for tonight. He stated come back with the landscaping design some trees. Mr. Cosby asked when resubmitted they see the faux windows and the parapet and the two alternate color schemes so we can see the colors. Mrs. Phyllis stated they could go out there and look at where landscaping could go not just talking about it take a visual look. Mr. Cosby stated they need trees in these parking lots. Mr. Austin Purnell stated he was happy it was going to get redeveloped and something new out there. He stated he also agreed that some changes needed to be made for it to look a little more appealing. Mr. Dvochak stated they will make the changes and get something back to them.

Mr. Pete Cosby made the motion to table until February 24, 2021. Mr. Austin Purnell seconded the motion. Mr. Engelhart thanked Ms. Bohlen. With no other comments meeting was adjourned at 6:13PM.

Respectfully Submitted,

A handwritten signature in cursive script, appearing to read "Carolyn Duffy".

Carolyn Duffy

Town of Berlin
Planning Commission
February 24th, 2021

Chairman Chris Denny called the Planning Commission meeting for February 24th, 2021 to order at 5:32PM. Member's present were Chris Denny, Pete Cosby, Newt Chandler, Ron Cascio, Phyllis Purnell Austin Purnell and Matt Stoechr. Members absent were Ron Cascio and D. J. Lockwood. Staff present was Planning Director Dave Engelhart and Permit Coordinator Carolyn Duffy.

Chairman Chris Denny called for a motion to adopt the February 24th, 2021 agenda. Mr. Newt Chandler made the motion to adopt the February 24th, 2021 agenda. Mr. Matt Stoechr seconded the motion, and it was unanimously accepted by the commission.

Chairman Chris Denny called the next item on the agenda the continuation for Site Plan Approval from the February 10th, 2021 meeting for the Auto Zone Store #4480 10712 Ocean Gateway. Mr. Kevin Murphy stated they would start with the landscaping L1.0 they had added three trees as requested to the site. The trees selected were because they grow to the 15 to 20 foot in height. Mr. Pete Cosby asked if they could get trees on the East or West side. Mr. Murphy stated that they do not have enough room to plant trees of that size. Mr. Cosby questioned there is not enough room to plant a tree or two. Mr. Murphy stated a storm drain runs down the one side where there is grass that connects the rear stormwater system any tree would be in the pipe. Planning Director Dave Engelhart stated that Mr. Gene Dvorchak reached out to him and E. A. Engineers after the last meeting about putting the trees in the front of the building and that would also satisfy MDE and would not interfere with view lines for stated highway.

Chairman Chris Denny told Mr. Cosby when the Harley Davidson building has something done to it that is when the parking lot would get cleaned up. Mr. Cosby stated they could soften it that way. Mr. Cosby stated they have the parapet and the faux windows that give the building interest now. Mr. Kevin Murphy stated they had submitted two different color elevations per request and wanted verification on the one they are going to use. The first was the gray color scheme and the alternate of the earth tone. Mr. Engelhart stated the packets are showing the earth tone. They selected the earth tone. Mr. Murphy wanted to go over the treatments he added per the commission's request. There are four faux windows, two on the west side two on the east side, three different roof variations on the front side east and west. The parapets have been there the HVAC were screened on the previous he stated he added a decorative cornice around the roof line. He stated on the earth tone scheme where it is going up, they will be bump outs on the main building line protruding out from the building. He added slip space block where you see dark color beige all this means is it will be a rough texture. He stated this was 5 to 6 different architectural variations to please the commission.

Mr. Cosby thanked him for pointing out the bump outs and that was helpful. Mr. Austin Purnell stated he liked the earth tones. Mr. Kevin Murphy stated they would proceed with the earth tone. Chairman Denny stated the commission liked it and would have been nice to have seen this the first time around. Chairman Denny called for a motion to approve. Mr. Newt Chandler made

the motion to approve final site plan. Mr. Austin Purnell seconded the motion, and it was unanimously accepted by the commission.

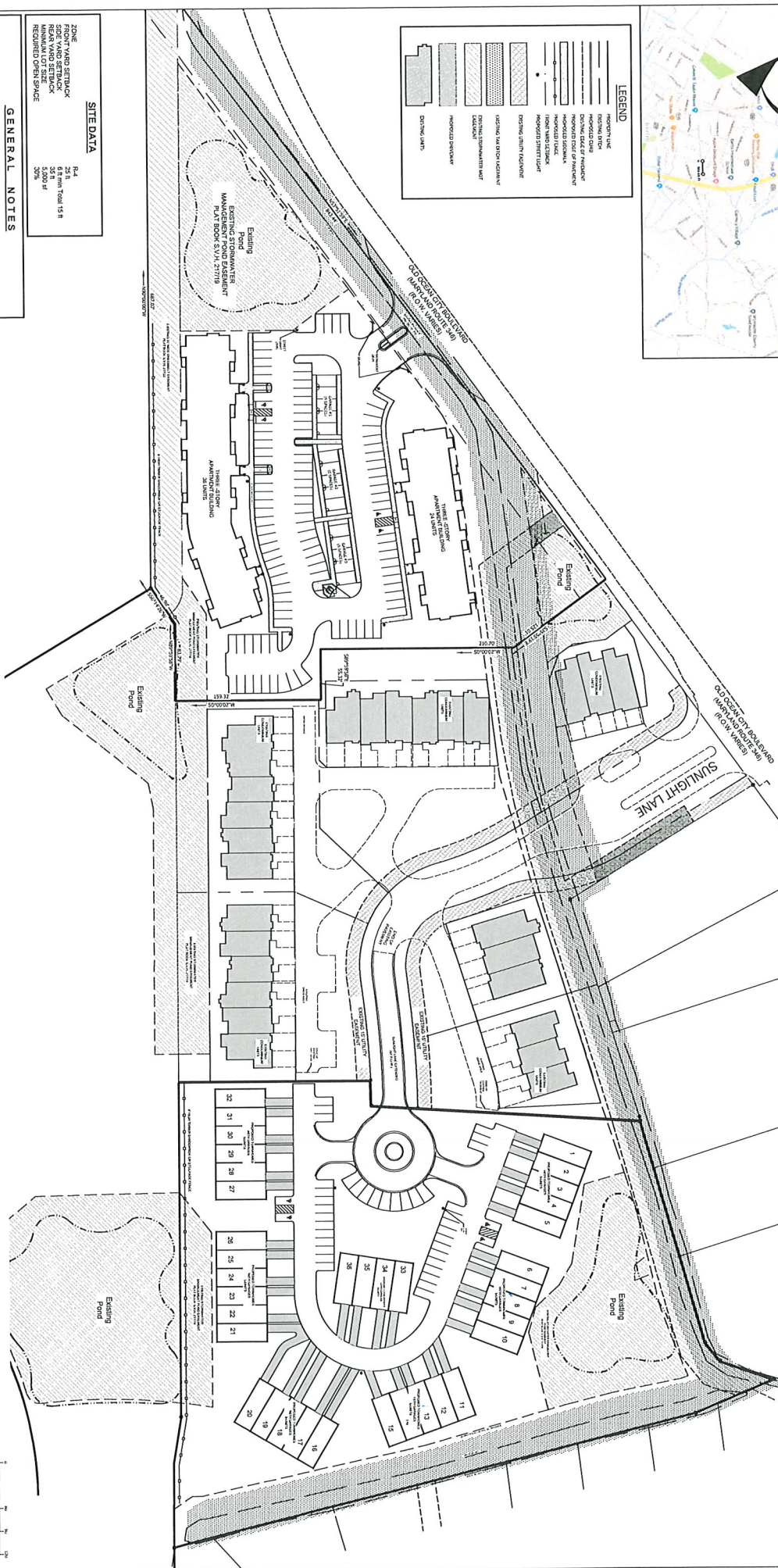
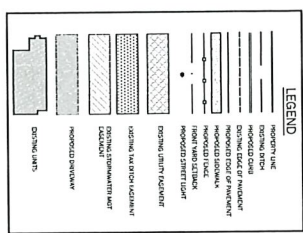
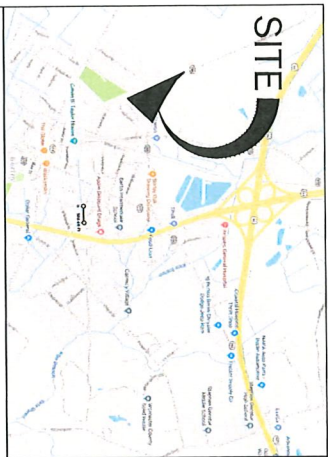
Planning Director Dave Engelhart stated he liked the earth tone also; they got some trees added that was the best outcome they could have. With no other comments Chairman Denny called for motion to adjourn. Mr. Newt Chandler made the motion to adjourn. Adjourned 5:45PM

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Carolyn Duffy". The signature is written in a cursive, flowing style.

Carolyn Duffy

3/13/2019



SITE DATA	
ZONE	R-4
FRONT YARD SETBACK	25 ft
SIDE YARD SETBACK	6 ft min Total 15 ft
REAR YARD SETBACK	35 ft
MINIMUM LOT SIZE	5,000 sf
REQUIRED OPEN SPACE	30%

[illegible]

PARKING PROVIDED	
NUMBER OF PROPOSED APARTMENTS -	60 UNITS
PARKING SPACES REQUIRED - 2 PER UNIT -	120 IN PARKING LOT
NUMBER OF PARKING SPACES PROVIDED -	151 GARAGES
	121 TOTAL PROVIDED
NUMBER OF PROPOSED TOWNHOUSES -	36 UNITS
PARKING SPACES REQUIRED - 2 PER UNIT -	72 IN GARAGES
NUMBER OF PARKING SPACES PROVIDED -	72 SPACES
PARKING SPACES SHOWN -	
VISITOR SPACES IN PARKING LOT	43 SPACES
	114 TOTAL PROVIDED

Owner's and Developer's Certification

I, a, hereby certified that I am the owner and/or developer of the property described above and shown on this plan. This plan was made for my personal, and not for commercial, use. I am a resident of the State of Maryland and I am not a corporation and do not represent a corporation. I am not a partner in a partnership.

OWNER: _____ DATE: _____

JAMES W. WILSON
11111 WILSON DRIVE
FARMERSVILLE, MD 21038
PO Box #118
Preston, MD 21688

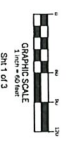
Professional Certification

I hereby certify that these documents were prepared as required by me, and that I am duly licensed civil engineer under the laws of the State of Maryland, License No. 22725. Registration Date: July 24, 2003 and a copy of my current Maryland Professional Engineer License No. 22725 and Expiration Date: January 24, 2008.

Brock E. Parker, P.E., R.L.S.
1520 Riverdale Drive
P.O. Box 1000
Arlington, VA 22201-1000
(440) 762-1020 Fax (440) 762-9032

Date _____

<p>FINAL SITE PLAN</p> <p>ATLANTIC PREMIER AT FURNELL CROSSING</p> <p>ATLANTIC PREMIER, LLC - DEVELOPER</p> <p>BETHL, INDIANAPOLIS</p>		<p>DATE: 05/20/13</p> <p>BY: [Signature]</p>
<p>FIRST TAX ELECTION DISTRICT: MONROECOUNTY, INDIANAPOLIS</p>		
<p>DATE: 05/20/13</p> <p>BY: [Signature]</p>	<p>DATE: 05/20/13</p> <p>BY: [Signature]</p>	<p>DATE: 05/20/13</p> <p>BY: [Signature]</p>



PROGRESS PRINT / NOT
FOR CONSTRUCTION

VISTA
DESIGN, INC.

Engineers • Architects • Surveyors • Landscape Architects
Land Planning Consultants • GIS Services


1634 Worcester Highway, Suite 200
Framingham, MA 01702

TEL: 508.882.2200 • FAX: 508.882.2270 • www.vista-engineers.com

PURNELL CROSSING

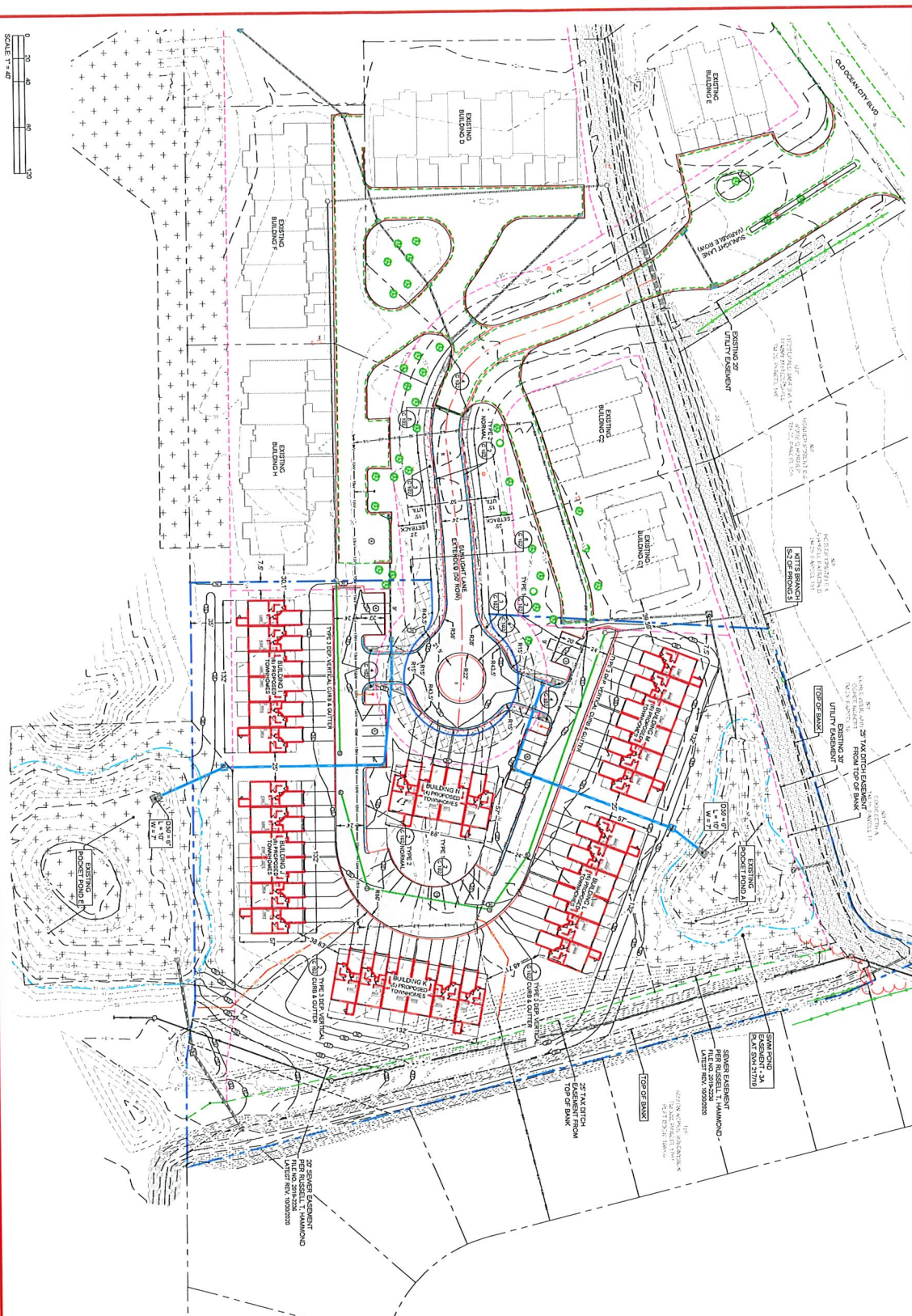
PHASE 1A

SITE PLAN

PROJECT DATA		REVISIONS			20.091 SP 101 620.dwg C 101
TAXA No.	Fund. Tit.				
1.7.01.01.01.01.01					
UNIONATY COUNTY LAYERS					
Layer No.	Layer Name				
1	00000001				
2	00000002				
3	00000003				
4	00000004				
5	00000005				
6	00000006				
7	00000007				
8	00000008				
9	00000009				
10	00000010				
11	00000011				
12	00000012				
13	00000013				
14	00000014				
15	00000015				
16	00000016				
17	00000017				
18	00000018				
19	00000019				
20	00000020				
21	00000021				
22	00000022				
23	00000023				
24	00000024				
25	00000025				
26	00000026				
27	00000027				
28	00000028				
29	00000029				
30	00000030				
31	00000031				
32	00000032				
33	00000033				
34	00000034				
35	00000035				
36	00000036				
37	00000037				
38	00000038				
39	00000039				
40	00000040				
41	00000041				
42	00000042				
43	00000043				
44	00000044				
45	00000045				
46	00000046				
47	00000047				
48	00000048				
49	00000049				
50	00000050				
51	00000051				
52	00000052				
53	00000053				
54	00000054				
55	00000055				
56	00000056				
57	00000057				
58	00000058				
59	00000059				
60	00000060				
61	00000061				
62	00000062				
63	00000063				
64	00000064				
65	00000065				
66	00000066				
67	00000067				
68	00000068				
69	00000069				
70	00000070				
71	00000071				
72	00000072				
73	00000073				
74	00000074				
75	00000075				
76	00000076				
77	00000077				
78	00000078				



C 101



Project List	Project Description	Project Status
Project 1	Project 1 Description	Completed
Project 2	Project 2 Description	In Progress
Project 3	Project 3 Description	On Hold
Project 4	Project 4 Description	Planned
Project 5	Project 5 Description	Completed
Project 6	Project 6 Description	In Progress
Project 7	Project 7 Description	On Hold
Project 8	Project 8 Description	Planned
Project 9	Project 9 Description	Completed
Project 10	Project 10 Description	In Progress
Project 11	Project 11 Description	On Hold
Project 12	Project 12 Description	Planned
Project 13	Project 13 Description	Completed
Project 14	Project 14 Description	In Progress
Project 15	Project 15 Description	On Hold
Project 16	Project 16 Description	Planned
Project 17	Project 17 Description	Completed
Project 18	Project 18 Description	In Progress
Project 19	Project 19 Description	On Hold
Project 20	Project 20 Description	Planned



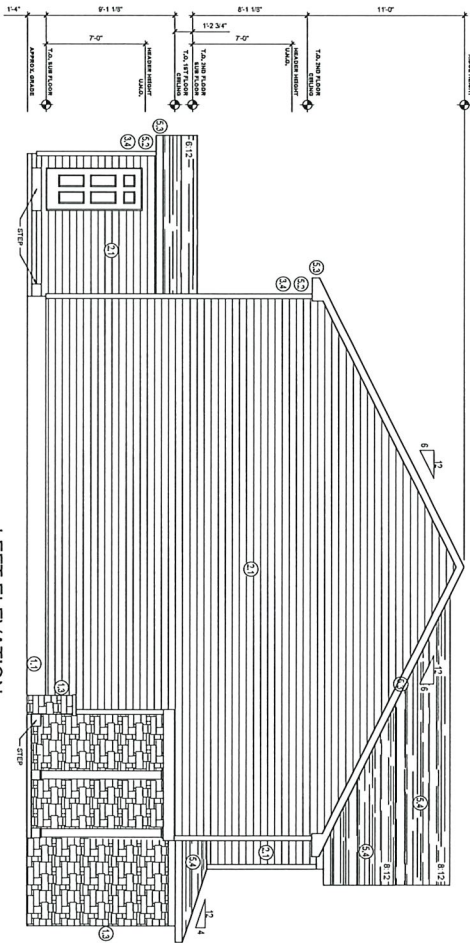
PURNELL CROSSING TOWNHOUSES

4-PACK ELEVATIONS - SHEET 2

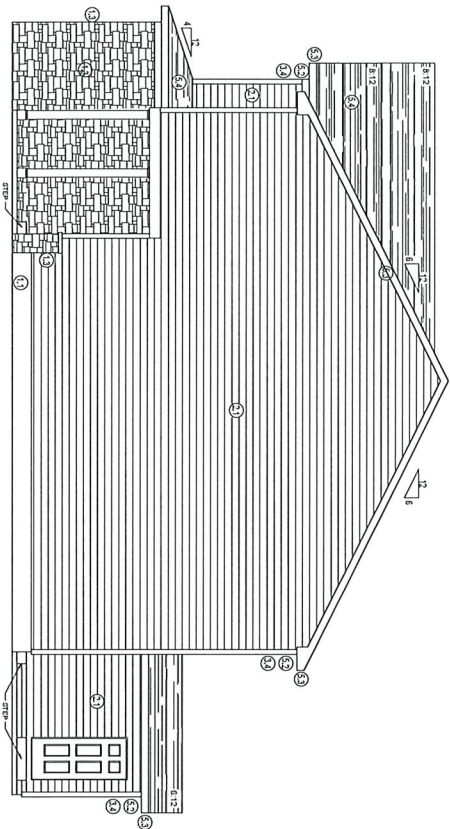
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
1.1	FOUNDATION - CONCRETE
1.2	FOUNDATION - FINISHED
1.3	FOUNDATION - FINISHED
1.4	FOUNDATION - FINISHED
1.5	FOUNDATION - FINISHED
1.6	FOUNDATION - FINISHED
1.7	FOUNDATION - FINISHED
1.8	FOUNDATION - FINISHED
1.9	FOUNDATION - FINISHED
1.10	FOUNDATION - FINISHED
1.11	FOUNDATION - FINISHED
1.12	FOUNDATION - FINISHED
1.13	FOUNDATION - FINISHED
1.14	FOUNDATION - FINISHED
1.15	FOUNDATION - FINISHED
1.16	FOUNDATION - FINISHED
1.17	FOUNDATION - FINISHED
1.18	FOUNDATION - FINISHED
1.19	FOUNDATION - FINISHED
1.20	FOUNDATION - FINISHED
1.21	FOUNDATION - FINISHED
1.22	FOUNDATION - FINISHED
1.23	FOUNDATION - FINISHED
1.24	FOUNDATION - FINISHED
1.25	FOUNDATION - FINISHED
1.26	FOUNDATION - FINISHED
1.27	FOUNDATION - FINISHED
1.28	FOUNDATION - FINISHED
1.29	FOUNDATION - FINISHED
1.30	FOUNDATION - FINISHED
1.31	FOUNDATION - FINISHED
1.32	FOUNDATION - FINISHED
1.33	FOUNDATION - FINISHED
1.34	FOUNDATION - FINISHED
1.35	FOUNDATION - FINISHED
1.36	FOUNDATION - FINISHED
1.37	FOUNDATION - FINISHED
1.38	FOUNDATION - FINISHED
1.39	FOUNDATION - FINISHED
1.40	FOUNDATION - FINISHED
1.41	FOUNDATION - FINISHED
1.42	FOUNDATION - FINISHED
1.43	FOUNDATION - FINISHED
1.44	FOUNDATION - FINISHED
1.45	FOUNDATION - FINISHED
1.46	FOUNDATION - FINISHED
1.47	FOUNDATION - FINISHED
1.48	FOUNDATION - FINISHED
1.49	FOUNDATION - FINISHED
1.50	FOUNDATION - FINISHED
1.51	FOUNDATION - FINISHED
1.52	FOUNDATION - FINISHED
1.53	FOUNDATION - FINISHED
1.54	FOUNDATION - FINISHED
1.55	FOUNDATION - FINISHED
1.56	FOUNDATION - FINISHED
1.57	FOUNDATION - FINISHED
1.58	FOUNDATION - FINISHED
1.59	FOUNDATION - FINISHED
1.60	FOUNDATION - FINISHED
1.61	FOUNDATION - FINISHED
1.62	FOUNDATION - FINISHED
1.63	FOUNDATION - FINISHED
1.64	FOUNDATION - FINISHED
1.65	FOUNDATION - FINISHED
1.66	FOUNDATION - FINISHED
1.67	FOUNDATION - FINISHED
1.68	FOUNDATION - FINISHED
1.69	FOUNDATION - FINISHED
1.70	FOUNDATION - FINISHED
1.71	FOUNDATION - FINISHED
1.72	FOUNDATION - FINISHED
1.73	FOUNDATION - FINISHED
1.74	FOUNDATION - FINISHED
1.75	FOUNDATION - FINISHED
1.76	FOUNDATION - FINISHED
1.77	FOUNDATION - FINISHED
1.78	FOUNDATION - FINISHED
1.79	FOUNDATION - FINISHED
1.80	FOUNDATION - FINISHED
1.81	FOUNDATION - FINISHED
1.82	FOUNDATION - FINISHED
1.83	FOUNDATION - FINISHED
1.84	FOUNDATION - FINISHED
1.85	FOUNDATION - FINISHED
1.86	FOUNDATION - FINISHED
1.87	FOUNDATION - FINISHED
1.88	FOUNDATION - FINISHED
1.89	FOUNDATION - FINISHED
1.90	FOUNDATION - FINISHED
1.91	FOUNDATION - FINISHED
1.92	FOUNDATION - FINISHED
1.93	FOUNDATION - FINISHED
1.94	FOUNDATION - FINISHED
1.95	FOUNDATION - FINISHED
1.96	FOUNDATION - FINISHED
1.97	FOUNDATION - FINISHED
1.98	FOUNDATION - FINISHED
1.99	FOUNDATION - FINISHED
1.100	FOUNDATION - FINISHED

EXTERIOR ACCENT DETAILS	
1.1	WINDOW CROSSHEAD
1.2	WINDOW CROSSHEAD
1.3	WINDOW CROSSHEAD
1.4	WINDOW CROSSHEAD
1.5	WINDOW CROSSHEAD
1.6	WINDOW CROSSHEAD
1.7	WINDOW CROSSHEAD
1.8	WINDOW CROSSHEAD
1.9	WINDOW CROSSHEAD
1.10	WINDOW CROSSHEAD
1.11	WINDOW CROSSHEAD
1.12	WINDOW CROSSHEAD
1.13	WINDOW CROSSHEAD
1.14	WINDOW CROSSHEAD
1.15	WINDOW CROSSHEAD
1.16	WINDOW CROSSHEAD
1.17	WINDOW CROSSHEAD
1.18	WINDOW CROSSHEAD
1.19	WINDOW CROSSHEAD
1.20	WINDOW CROSSHEAD
1.21	WINDOW CROSSHEAD
1.22	WINDOW CROSSHEAD
1.23	WINDOW CROSSHEAD
1.24	WINDOW CROSSHEAD
1.25	WINDOW CROSSHEAD
1.26	WINDOW CROSSHEAD
1.27	WINDOW CROSSHEAD
1.28	WINDOW CROSSHEAD
1.29	WINDOW CROSSHEAD
1.30	WINDOW CROSSHEAD
1.31	WINDOW CROSSHEAD
1.32	WINDOW CROSSHEAD
1.33	WINDOW CROSSHEAD
1.34	WINDOW CROSSHEAD
1.35	WINDOW CROSSHEAD
1.36	WINDOW CROSSHEAD
1.37	WINDOW CROSSHEAD
1.38	WINDOW CROSSHEAD
1.39	WINDOW CROSSHEAD
1.40	WINDOW CROSSHEAD
1.41	WINDOW CROSSHEAD
1.42	WINDOW CROSSHEAD
1.43	WINDOW CROSSHEAD
1.44	WINDOW CROSSHEAD
1.45	WINDOW CROSSHEAD
1.46	WINDOW CROSSHEAD
1.47	WINDOW CROSSHEAD
1.48	WINDOW CROSSHEAD
1.49	WINDOW CROSSHEAD
1.50	WINDOW CROSSHEAD
1.51	WINDOW CROSSHEAD
1.52	WINDOW CROSSHEAD
1.53	WINDOW CROSSHEAD
1.54	WINDOW CROSSHEAD
1.55	WINDOW CROSSHEAD
1.56	WINDOW CROSSHEAD
1.57	WINDOW CROSSHEAD
1.58	WINDOW CROSSHEAD
1.59	WINDOW CROSSHEAD
1.60	WINDOW CROSSHEAD
1.61	WINDOW CROSSHEAD
1.62	WINDOW CROSSHEAD
1.63	WINDOW CROSSHEAD
1.64	WINDOW CROSSHEAD
1.65	WINDOW CROSSHEAD
1.66	WINDOW CROSSHEAD
1.67	WINDOW CROSSHEAD
1.68	WINDOW CROSSHEAD
1.69	WINDOW CROSSHEAD
1.70	WINDOW CROSSHEAD
1.71	WINDOW CROSSHEAD
1.72	WINDOW CROSSHEAD
1.73	WINDOW CROSSHEAD
1.74	WINDOW CROSSHEAD
1.75	WINDOW CROSSHEAD
1.76	WINDOW CROSSHEAD
1.77	WINDOW CROSSHEAD
1.78	WINDOW CROSSHEAD
1.79	WINDOW CROSSHEAD
1.80	WINDOW CROSSHEAD
1.81	WINDOW CROSSHEAD
1.82	WINDOW CROSSHEAD
1.83	WINDOW CROSSHEAD
1.84	WINDOW CROSSHEAD
1.85	WINDOW CROSSHEAD
1.86	WINDOW CROSSHEAD
1.87	WINDOW CROSSHEAD
1.88	WINDOW CROSSHEAD
1.89	WINDOW CROSSHEAD
1.90	WINDOW CROSSHEAD
1.91	WINDOW CROSSHEAD
1.92	WINDOW CROSSHEAD
1.93	WINDOW CROSSHEAD
1.94	WINDOW CROSSHEAD
1.95	WINDOW CROSSHEAD
1.96	WINDOW CROSSHEAD
1.97	WINDOW CROSSHEAD
1.98	WINDOW CROSSHEAD
1.99	WINDOW CROSSHEAD
1.100	WINDOW CROSSHEAD



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

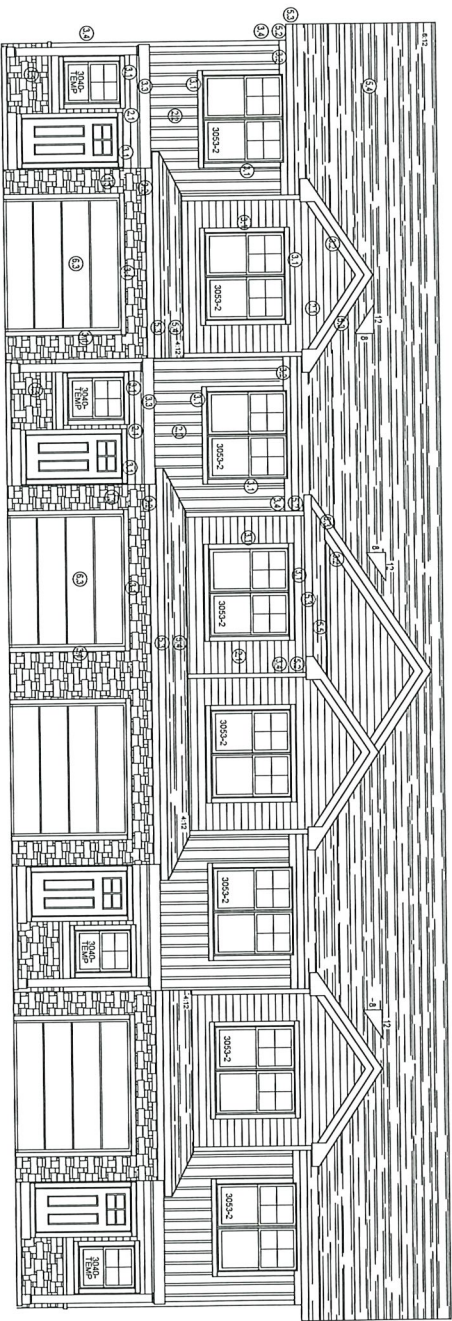
INSIGHT HOMES		16255 SUSSEX HWY. OFFICE - (302) 337-0400 BRIDGEVILLE, DE 19933 FAX - (302) 721-4900	
16255 SUSSEX HWY. OFFICE - (302) 337-0400 BRIDGEVILLE, DE 19933 FAX - (302) 721-4900		INSIGHT HOMES IS NOT AN ARCHITECT OR AN ENGINEER. STRUCTURAL CONSIDERATIONS SHOULD BE VERIFIED BY AN ARCHITECT OR ENGINEER. ALL LOCAL CODES SHOULD BE FOLLOWED.	
DRAWN BY: H. SCOTT		ISSUE DATE	
SCALE: AS NOTED		2021-1-20	
SHEET #		DESCRIPTION	
3.2-1		DRAFT 1	
JOB #		ELEVATIONS- SHEET 2	
XXXX			

PURNELL CROSSING TOWNHOUSES
4-PACK ELEVATIONS - SHEET 1

SCALE: 1/4" = 1'-0"

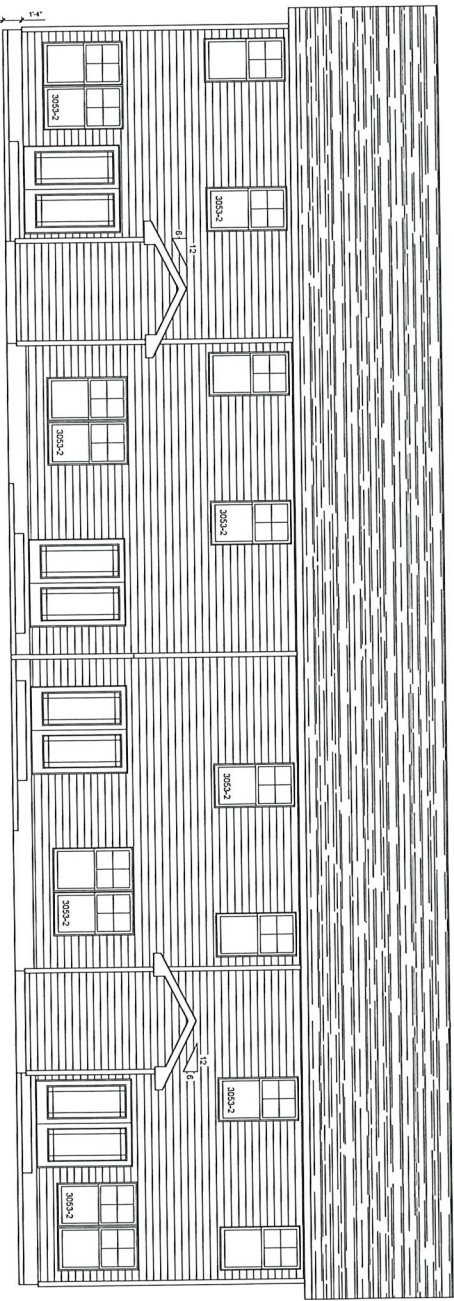
EXTERIOR FINISH SCHEDULE	
1.1	FOUNDATION - CONCRETE
1.2	FOUNDATION - FINISHED
1.3	FOUNDATION - PAINTED
1.4	FOUNDATION - STAIN
1.5	FOUNDATION - STAIN
1.6	FOUNDATION - STAIN
1.7	FOUNDATION - STAIN
1.8	FOUNDATION - STAIN
1.9	FOUNDATION - STAIN
1.10	FOUNDATION - STAIN
1.11	FOUNDATION - STAIN
1.12	FOUNDATION - STAIN
1.13	FOUNDATION - STAIN
1.14	FOUNDATION - STAIN
1.15	FOUNDATION - STAIN
1.16	FOUNDATION - STAIN
1.17	FOUNDATION - STAIN
1.18	FOUNDATION - STAIN
1.19	FOUNDATION - STAIN
1.20	FOUNDATION - STAIN
1.21	FOUNDATION - STAIN
1.22	FOUNDATION - STAIN
1.23	FOUNDATION - STAIN
1.24	FOUNDATION - STAIN
1.25	FOUNDATION - STAIN
1.26	FOUNDATION - STAIN
1.27	FOUNDATION - STAIN
1.28	FOUNDATION - STAIN
1.29	FOUNDATION - STAIN
1.30	FOUNDATION - STAIN
1.31	FOUNDATION - STAIN
1.32	FOUNDATION - STAIN
1.33	FOUNDATION - STAIN
1.34	FOUNDATION - STAIN
1.35	FOUNDATION - STAIN
1.36	FOUNDATION - STAIN
1.37	FOUNDATION - STAIN
1.38	FOUNDATION - STAIN
1.39	FOUNDATION - STAIN
1.40	FOUNDATION - STAIN
1.41	FOUNDATION - STAIN
1.42	FOUNDATION - STAIN
1.43	FOUNDATION - STAIN
1.44	FOUNDATION - STAIN
1.45	FOUNDATION - STAIN
1.46	FOUNDATION - STAIN
1.47	FOUNDATION - STAIN
1.48	FOUNDATION - STAIN
1.49	FOUNDATION - STAIN
1.50	FOUNDATION - STAIN
1.51	FOUNDATION - STAIN
1.52	FOUNDATION - STAIN
1.53	FOUNDATION - STAIN
1.54	FOUNDATION - STAIN
1.55	FOUNDATION - STAIN
1.56	FOUNDATION - STAIN
1.57	FOUNDATION - STAIN
1.58	FOUNDATION - STAIN
1.59	FOUNDATION - STAIN
1.60	FOUNDATION - STAIN
1.61	FOUNDATION - STAIN
1.62	FOUNDATION - STAIN
1.63	FOUNDATION - STAIN
1.64	FOUNDATION - STAIN
1.65	FOUNDATION - STAIN
1.66	FOUNDATION - STAIN
1.67	FOUNDATION - STAIN
1.68	FOUNDATION - STAIN
1.69	FOUNDATION - STAIN
1.70	FOUNDATION - STAIN
1.71	FOUNDATION - STAIN
1.72	FOUNDATION - STAIN
1.73	FOUNDATION - STAIN
1.74	FOUNDATION - STAIN
1.75	FOUNDATION - STAIN
1.76	FOUNDATION - STAIN
1.77	FOUNDATION - STAIN
1.78	FOUNDATION - STAIN
1.79	FOUNDATION - STAIN
1.80	FOUNDATION - STAIN
1.81	FOUNDATION - STAIN
1.82	FOUNDATION - STAIN
1.83	FOUNDATION - STAIN
1.84	FOUNDATION - STAIN
1.85	FOUNDATION - STAIN
1.86	FOUNDATION - STAIN
1.87	FOUNDATION - STAIN
1.88	FOUNDATION - STAIN
1.89	FOUNDATION - STAIN
1.90	FOUNDATION - STAIN
1.91	FOUNDATION - STAIN
1.92	FOUNDATION - STAIN
1.93	FOUNDATION - STAIN
1.94	FOUNDATION - STAIN
1.95	FOUNDATION - STAIN
1.96	FOUNDATION - STAIN
1.97	FOUNDATION - STAIN
1.98	FOUNDATION - STAIN
1.99	FOUNDATION - STAIN
1.100	FOUNDATION - STAIN

EXTERIOR ACCENT DETAILS	
1.1	WINDOW CROSS-SECTION
1.2	WINDOW SHUTTERS
1.3	SCAFFOLD
1.4	SCAFFOLD
1.5	SCAFFOLD
1.6	SCAFFOLD
1.7	SCAFFOLD
1.8	SCAFFOLD
1.9	SCAFFOLD
1.10	SCAFFOLD
1.11	SCAFFOLD
1.12	SCAFFOLD
1.13	SCAFFOLD
1.14	SCAFFOLD
1.15	SCAFFOLD
1.16	SCAFFOLD
1.17	SCAFFOLD
1.18	SCAFFOLD
1.19	SCAFFOLD
1.20	SCAFFOLD
1.21	SCAFFOLD
1.22	SCAFFOLD
1.23	SCAFFOLD
1.24	SCAFFOLD
1.25	SCAFFOLD
1.26	SCAFFOLD
1.27	SCAFFOLD
1.28	SCAFFOLD
1.29	SCAFFOLD
1.30	SCAFFOLD
1.31	SCAFFOLD
1.32	SCAFFOLD
1.33	SCAFFOLD
1.34	SCAFFOLD
1.35	SCAFFOLD
1.36	SCAFFOLD
1.37	SCAFFOLD
1.38	SCAFFOLD
1.39	SCAFFOLD
1.40	SCAFFOLD
1.41	SCAFFOLD
1.42	SCAFFOLD
1.43	SCAFFOLD
1.44	SCAFFOLD
1.45	SCAFFOLD
1.46	SCAFFOLD
1.47	SCAFFOLD
1.48	SCAFFOLD
1.49	SCAFFOLD
1.50	SCAFFOLD
1.51	SCAFFOLD
1.52	SCAFFOLD
1.53	SCAFFOLD
1.54	SCAFFOLD
1.55	SCAFFOLD
1.56	SCAFFOLD
1.57	SCAFFOLD
1.58	SCAFFOLD
1.59	SCAFFOLD
1.60	SCAFFOLD
1.61	SCAFFOLD
1.62	SCAFFOLD
1.63	SCAFFOLD
1.64	SCAFFOLD
1.65	SCAFFOLD
1.66	SCAFFOLD
1.67	SCAFFOLD
1.68	SCAFFOLD
1.69	SCAFFOLD
1.70	SCAFFOLD
1.71	SCAFFOLD
1.72	SCAFFOLD
1.73	SCAFFOLD
1.74	SCAFFOLD
1.75	SCAFFOLD
1.76	SCAFFOLD
1.77	SCAFFOLD
1.78	SCAFFOLD
1.79	SCAFFOLD
1.80	SCAFFOLD
1.81	SCAFFOLD
1.82	SCAFFOLD
1.83	SCAFFOLD
1.84	SCAFFOLD
1.85	SCAFFOLD
1.86	SCAFFOLD
1.87	SCAFFOLD
1.88	SCAFFOLD
1.89	SCAFFOLD
1.90	SCAFFOLD
1.91	SCAFFOLD
1.92	SCAFFOLD
1.93	SCAFFOLD
1.94	SCAFFOLD
1.95	SCAFFOLD
1.96	SCAFFOLD
1.97	SCAFFOLD
1.98	SCAFFOLD
1.99	SCAFFOLD
1.100	SCAFFOLD



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

INSIGHT HOMES IS NOT AN
ARCHITECT OR AN ENGINEER.
STRUCTURAL CONSULTATIONS
SHOULD BE OBTAINED BY AN
ARCHITECT OR ENGINEER.
ALL LOCAL CODES
SHOULD BE FOLLOWED.

INSIGHT HOMES
16255 SUSSEX HWY. OFFICE - (302) 337-0400
BRIDGEVILLE, DE 19933 FAX - (302) 721-4900

DESCRIPTION	
DRAFT 1	
ISSUE DATE	2021-1-20
DRAWN BY: H. SCOTT	
SCALE: AS NOTED	

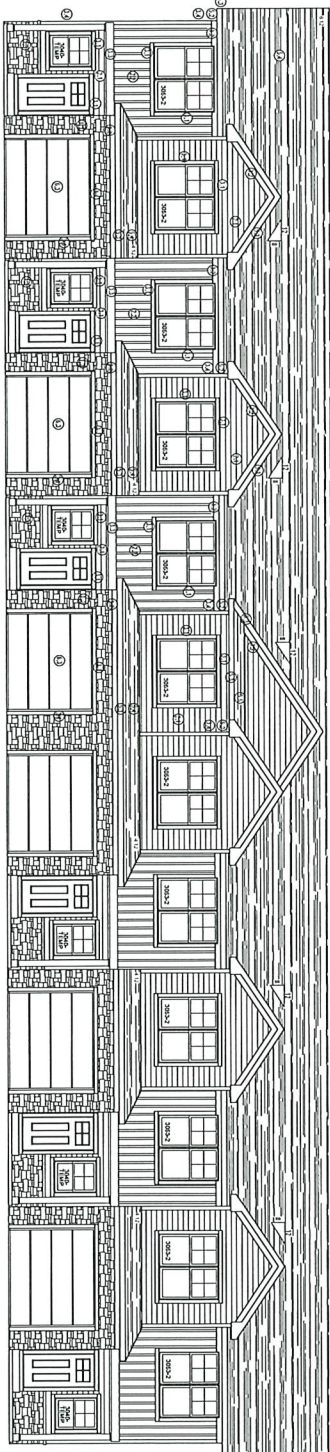
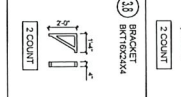
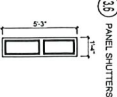
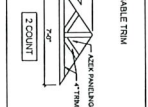
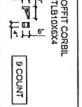
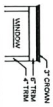
ELEVATIONS- SHEET 1

SHEET #
3.1-1
JOB #
XXXX

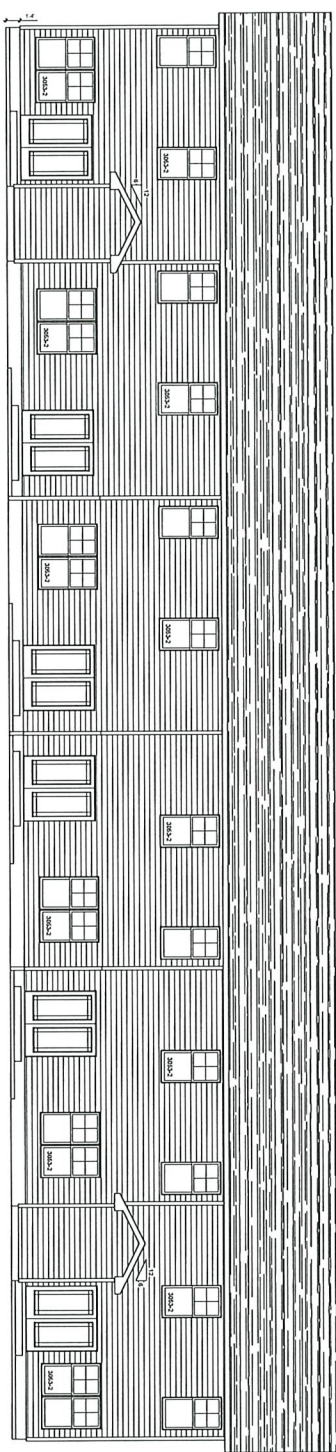
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE	
1	FOUNDATION - CONCRETE
S/D	
2	WALLS - BRICK
S/D	
3	STONE FINISH
S/D	
4	ROOF - GUTTERING
S/D	
5	ROOF - BRICK TYPING
S/D	
6	1" x 6" x 8" PC FPM BOARD
S/D	
7	6" x 6" x 8" PC FPM BOARD
S/D	
8	2" x 4" x 8" PC FPM BOARD
S/D	
9	WINDOW CROSS-POLE (SEE DETAIL BELOW)
S/D	
10	DOOR CROSS-POLE (SEE DETAIL BELOW)
S/D	
11	ROOFING (SEE DETAIL BELOW)
S/D	
12	ROOFING (SEE DETAIL BELOW)
S/D	
13	DOOR (SEE DETAIL BELOW)
S/D	
14	FOUNDATION - CONCRETE
S/D	
15	WALLS - BRICK
S/D	
16	STONE FINISH
S/D	
17	ROOF - GUTTERING
S/D	
18	ROOF - BRICK TYPING
S/D	
19	1" x 6" x 8" PC FPM BOARD
S/D	
20	6" x 6" x 8" PC FPM BOARD
S/D	
21	2" x 4" x 8" PC FPM BOARD
S/D	
22	WINDOW CROSS-POLE (SEE DETAIL BELOW)
S/D	
23	DOOR CROSS-POLE (SEE DETAIL BELOW)
S/D	
24	ROOFING (SEE DETAIL BELOW)
S/D	
25	ROOFING (SEE DETAIL BELOW)
S/D	
26	DOOR (SEE DETAIL BELOW)
S/D	
27	FOUNDATION - CONCRETE
S/D	
28	WALLS - BRICK
S/D	
29	STONE FINISH
S/D	
30	ROOF - GUTTERING
S/D	
31	ROOF - BRICK TYPING
S/D	
32	1" x 6" x 8" PC FPM BOARD
S/D	
33	6" x 6" x 8" PC FPM BOARD
S/D	
34	2" x 4" x 8" PC FPM BOARD
S/D	
35	WINDOW CROSS-POLE (SEE DETAIL BELOW)
S/D	
36	DOOR CROSS-POLE (SEE DETAIL BELOW)
S/D	
37	ROOFING (SEE DETAIL BELOW)
S/D	
38	ROOFING (SEE DETAIL BELOW)
S/D	
39	DOOR (SEE DETAIL BELOW)
S/D	
40	FOUNDATION - CONCRETE
S/D	
41	WALLS - BRICK
S/D	
42	STONE FINISH
S/D	
43	ROOF - GUTTERING
S/D	
44	ROOF - BRICK TYPING
S/D	
45	1" x 6" x 8" PC FPM BOARD
S/D	
46	6" x 6" x 8" PC FPM BOARD
S/D	
47	2" x 4" x 8" PC FPM BOARD
S/D	
48	WINDOW CROSS-POLE (SEE DETAIL BELOW)
S/D	
49	DOOR CROSS-POLE (SEE DETAIL BELOW)
S/D	
50	ROOFING (SEE DETAIL BELOW)
S/D	
51	ROOFING (SEE DETAIL BELOW)
S/D	
52	DOOR (SEE DETAIL BELOW)
S/D	
53	FOUNDATION - CONCRETE
S/D	
54	WALLS - BRICK
S/D	
55	STONE FINISH
S/D	
56	ROOF - GUTTERING
S/D	
57	ROOF - BRICK TYPING
S/D	
58	1" x 6" x 8" PC FPM BOARD
S/D	
59	6" x 6" x 8" PC FPM BOARD
S/D	
60	2" x 4" x 8" PC FPM BOARD
S/D	
61	WINDOW CROSS-POLE (SEE DETAIL BELOW)
S/D	
62	DOOR CROSS-POLE (SEE DETAIL BELOW)
S/D	
63	ROOFING (SEE DETAIL BELOW)
S/D	
64	ROOFING (SEE DETAIL BELOW)
S/D	
65	DOOR (SEE DETAIL BELOW)
S/D	
66	FOUNDATION - CONCRETE
S/D	
67	WALLS - BRICK
S/D	
68	STONE FINISH
S/D	
69	ROOF - GUTTERING
S/D	
70	ROOF - BRICK TYPING
S/D	
71	1" x 6" x 8" PC FPM BOARD
S/D	
72	6" x 6" x 8" PC FPM BOARD
S/D	
73	2" x 4" x 8" PC FPM BOARD
S/D	
74	WINDOW CROSS-POLE (SEE DETAIL BELOW)
S/D	
75	DOOR CROSS-POLE (SEE DETAIL BELOW)
S/D	
76	ROOFING (SEE DETAIL BELOW)
S/D	
77	ROOFING (SEE DETAIL BELOW)
S/D	
78	DOOR (SEE DETAIL BELOW)
S/D	
79	FOUNDATION - CONCRETE
S/D	
80	WALLS - BRICK
S/D	
81	STONE FINISH
S/D	
82	ROOF - GUTTERING
S/D	
83	ROOF - BRICK TYPING
S/D	
84	1" x 6" x 8" PC FPM BOARD

WINDOW CROSSHEAD (3.6) PANEL SHUTTERS



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

INSIGHT HOMES IS NOT AN ARCHITECT OR AN ENGINEER. STRUCTURAL CONSIDERATIONS SHOULD BE VERIFIED BY AN ARCHITECT OR ENGINEER.

INSIGHT HOMES

16255 SUSSEX HWY. OFFICE - (302) 337-0400
BRIDGEVILLE, DE 19933 FAX - (302) 721-4900

DESCRIPTION
DRAFT 1

ISSUE DATE
2021-1-20

DRAWN BY: H. SCOTT

SCALE: AS NOTED

ELEVATIONS- SHEET 1

SHEET #
3.1-1

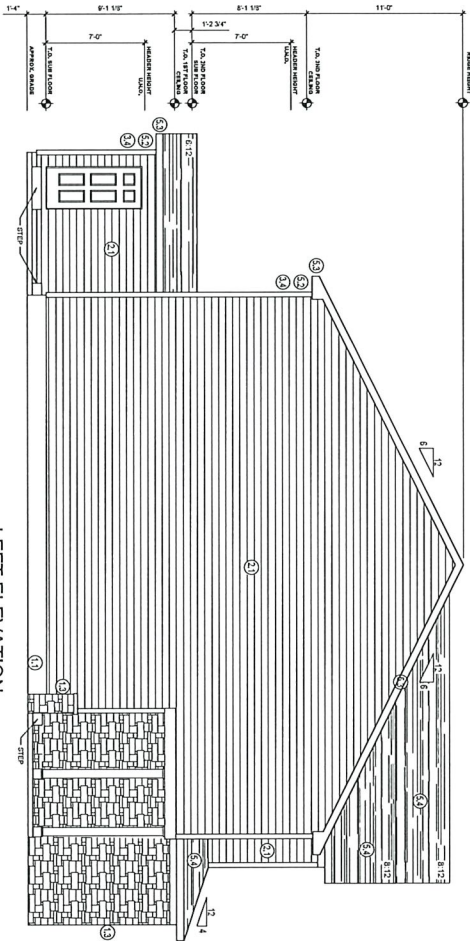
JOB#
XXXX

PURNELL CROSSING TOWNHOUSES
6-PACK ELEVATIONS - SHEET 2

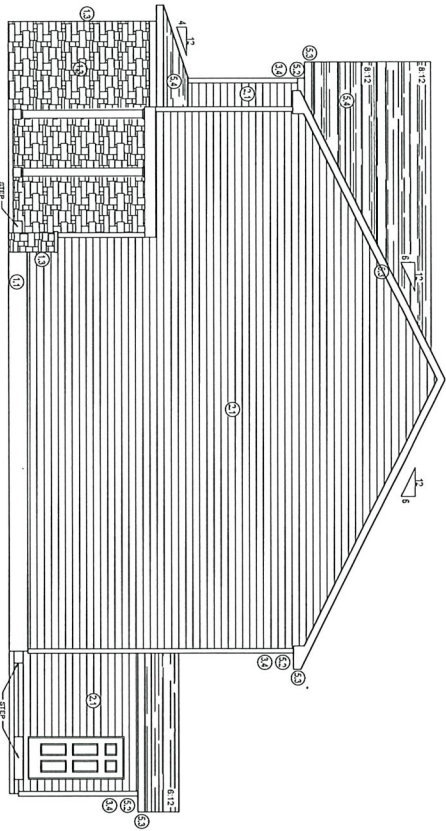
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
1.1	FOUNDATION - CONCRETE
1.2	FOUNDATION - FINISHED
1.3	STONE VENEER
2.1	DOUBLE 4.5-VINYL LAP SIDING
2.2	DOUBLE 4.5-VINYL LAP SIDING
3.1	3" VINYL CORNER TRIM
3.2	3" VINYL CORNER TRIM
3.3	3" VINYL CORNER TRIM
3.4	3" VINYL CORNER TRIM
3.5	3" VINYL CORNER TRIM
3.6	3" VINYL CORNER TRIM
3.7	3" VINYL CORNER TRIM
3.8	3" VINYL CORNER TRIM
3.9	3" VINYL CORNER TRIM
4.1	4" VINYL CORNER TRIM
4.2	4" VINYL CORNER TRIM
4.3	4" VINYL CORNER TRIM
4.4	4" VINYL CORNER TRIM
4.5	4" VINYL CORNER TRIM
4.6	4" VINYL CORNER TRIM
4.7	4" VINYL CORNER TRIM
4.8	4" VINYL CORNER TRIM
4.9	4" VINYL CORNER TRIM
4.10	4" VINYL CORNER TRIM
4.11	4" VINYL CORNER TRIM
4.12	4" VINYL CORNER TRIM
4.13	4" VINYL CORNER TRIM
4.14	4" VINYL CORNER TRIM
4.15	4" VINYL CORNER TRIM
4.16	4" VINYL CORNER TRIM
4.17	4" VINYL CORNER TRIM
4.18	4" VINYL CORNER TRIM
4.19	4" VINYL CORNER TRIM
4.20	4" VINYL CORNER TRIM
4.21	4" VINYL CORNER TRIM
4.22	4" VINYL CORNER TRIM
4.23	4" VINYL CORNER TRIM
4.24	4" VINYL CORNER TRIM
4.25	4" VINYL CORNER TRIM
4.26	4" VINYL CORNER TRIM
4.27	4" VINYL CORNER TRIM
4.28	4" VINYL CORNER TRIM
4.29	4" VINYL CORNER TRIM
4.30	4" VINYL CORNER TRIM
4.31	4" VINYL CORNER TRIM
4.32	4" VINYL CORNER TRIM
4.33	4" VINYL CORNER TRIM
4.34	4" VINYL CORNER TRIM
4.35	4" VINYL CORNER TRIM
4.36	4" VINYL CORNER TRIM
4.37	4" VINYL CORNER TRIM
4.38	4" VINYL CORNER TRIM
4.39	4" VINYL CORNER TRIM
4.40	4" VINYL CORNER TRIM
4.41	4" VINYL CORNER TRIM
4.42	4" VINYL CORNER TRIM
4.43	4" VINYL CORNER TRIM
4.44	4" VINYL CORNER TRIM
4.45	4" VINYL CORNER TRIM
4.46	4" VINYL CORNER TRIM
4.47	4" VINYL CORNER TRIM
4.48	4" VINYL CORNER TRIM
4.49	4" VINYL CORNER TRIM
4.50	4" VINYL CORNER TRIM
4.51	4" VINYL CORNER TRIM
4.52	4" VINYL CORNER TRIM
4.53	4" VINYL CORNER TRIM
4.54	4" VINYL CORNER TRIM
4.55	4" VINYL CORNER TRIM
4.56	4" VINYL CORNER TRIM
4.57	4" VINYL CORNER TRIM
4.58	4" VINYL CORNER TRIM
4.59	4" VINYL CORNER TRIM
4.60	4" VINYL CORNER TRIM
4.61	4" VINYL CORNER TRIM
4.62	4" VINYL CORNER TRIM
4.63	4" VINYL CORNER TRIM
4.64	4" VINYL CORNER TRIM
4.65	4" VINYL CORNER TRIM
4.66	4" VINYL CORNER TRIM
4.67	4" VINYL CORNER TRIM
4.68	4" VINYL CORNER TRIM
4.69	4" VINYL CORNER TRIM
4.70	4" VINYL CORNER TRIM
4.71	4" VINYL CORNER TRIM
4.72	4" VINYL CORNER TRIM
4.73	4" VINYL CORNER TRIM
4.74	4" VINYL CORNER TRIM
4.75	4" VINYL CORNER TRIM
4.76	4" VINYL CORNER TRIM
4.77	4" VINYL CORNER TRIM
4.78	4" VINYL CORNER TRIM
4.79	4" VINYL CORNER TRIM
4.80	4" VINYL CORNER TRIM
4.81	4" VINYL CORNER TRIM
4.82	4" VINYL CORNER TRIM
4.83	4" VINYL CORNER TRIM
4.84	4" VINYL CORNER TRIM
4.85	4" VINYL CORNER TRIM
4.86	4" VINYL CORNER TRIM
4.87	4" VINYL CORNER TRIM
4.88	4" VINYL CORNER TRIM
4.89	4" VINYL CORNER TRIM
4.90	4" VINYL CORNER TRIM
4.91	4" VINYL CORNER TRIM
4.92	4" VINYL CORNER TRIM
4.93	4" VINYL CORNER TRIM
4.94	4" VINYL CORNER TRIM
4.95	4" VINYL CORNER TRIM
4.96	4" VINYL CORNER TRIM
4.97	4" VINYL CORNER TRIM
4.98	4" VINYL CORNER TRIM
4.99	4" VINYL CORNER TRIM
4.100	4" VINYL CORNER TRIM

EXTERIOR ACCENT DETAILS	
1.1	WINDOW CROSSHEAD
1.2	WINDOW CROSSHEAD
1.3	WINDOW CROSSHEAD
1.4	WINDOW CROSSHEAD
1.5	WINDOW CROSSHEAD
1.6	WINDOW CROSSHEAD
1.7	WINDOW CROSSHEAD
1.8	WINDOW CROSSHEAD
1.9	WINDOW CROSSHEAD
1.10	WINDOW CROSSHEAD
1.11	WINDOW CROSSHEAD
1.12	WINDOW CROSSHEAD
1.13	WINDOW CROSSHEAD
1.14	WINDOW CROSSHEAD
1.15	WINDOW CROSSHEAD
1.16	WINDOW CROSSHEAD
1.17	WINDOW CROSSHEAD
1.18	WINDOW CROSSHEAD
1.19	WINDOW CROSSHEAD
1.20	WINDOW CROSSHEAD
1.21	WINDOW CROSSHEAD
1.22	WINDOW CROSSHEAD
1.23	WINDOW CROSSHEAD
1.24	WINDOW CROSSHEAD
1.25	WINDOW CROSSHEAD
1.26	WINDOW CROSSHEAD
1.27	WINDOW CROSSHEAD
1.28	WINDOW CROSSHEAD
1.29	WINDOW CROSSHEAD
1.30	WINDOW CROSSHEAD
1.31	WINDOW CROSSHEAD
1.32	WINDOW CROSSHEAD
1.33	WINDOW CROSSHEAD
1.34	WINDOW CROSSHEAD
1.35	WINDOW CROSSHEAD
1.36	WINDOW CROSSHEAD
1.37	WINDOW CROSSHEAD
1.38	WINDOW CROSSHEAD
1.39	WINDOW CROSSHEAD
1.40	WINDOW CROSSHEAD
1.41	WINDOW CROSSHEAD
1.42	WINDOW CROSSHEAD
1.43	WINDOW CROSSHEAD
1.44	WINDOW CROSSHEAD
1.45	WINDOW CROSSHEAD
1.46	WINDOW CROSSHEAD
1.47	WINDOW CROSSHEAD
1.48	WINDOW CROSSHEAD
1.49	WINDOW CROSSHEAD
1.50	WINDOW CROSSHEAD
1.51	WINDOW CROSSHEAD
1.52	WINDOW CROSSHEAD
1.53	WINDOW CROSSHEAD
1.54	WINDOW CROSSHEAD
1.55	WINDOW CROSSHEAD
1.56	WINDOW CROSSHEAD
1.57	WINDOW CROSSHEAD
1.58	WINDOW CROSSHEAD
1.59	WINDOW CROSSHEAD
1.60	WINDOW CROSSHEAD
1.61	WINDOW CROSSHEAD
1.62	WINDOW CROSSHEAD
1.63	WINDOW CROSSHEAD
1.64	WINDOW CROSSHEAD
1.65	WINDOW CROSSHEAD
1.66	WINDOW CROSSHEAD
1.67	WINDOW CROSSHEAD
1.68	WINDOW CROSSHEAD
1.69	WINDOW CROSSHEAD
1.70	WINDOW CROSSHEAD
1.71	WINDOW CROSSHEAD
1.72	WINDOW CROSSHEAD
1.73	WINDOW CROSSHEAD
1.74	WINDOW CROSSHEAD
1.75	WINDOW CROSSHEAD
1.76	WINDOW CROSSHEAD
1.77	WINDOW CROSSHEAD
1.78	WINDOW CROSSHEAD
1.79	WINDOW CROSSHEAD
1.80	WINDOW CROSSHEAD
1.81	WINDOW CROSSHEAD
1.82	WINDOW CROSSHEAD
1.83	WINDOW CROSSHEAD
1.84	WINDOW CROSSHEAD
1.85	WINDOW CROSSHEAD
1.86	WINDOW CROSSHEAD
1.87	WINDOW CROSSHEAD
1.88	WINDOW CROSSHEAD
1.89	WINDOW CROSSHEAD
1.90	WINDOW CROSSHEAD
1.91	WINDOW CROSSHEAD
1.92	WINDOW CROSSHEAD
1.93	WINDOW CROSSHEAD
1.94	WINDOW CROSSHEAD
1.95	WINDOW CROSSHEAD
1.96	WINDOW CROSSHEAD
1.97	WINDOW CROSSHEAD
1.98	WINDOW CROSSHEAD
1.99	WINDOW CROSSHEAD
1.100	WINDOW CROSSHEAD



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

INSIGHT HOMES IS NOT AN
ARCHITECT OR AN ENGINEER.
STRUCTURAL CONSIDERATIONS
SHOULD BE VERIFIED BY AN
ARCHITECT OR ENGINEER.
ALL LOCAL CODES
SHOULD BE FOLLOWED.

INSIGHT HOMES

16255 SUSSEX HWY. OFFICE - (302) 337-0400
BRIDGEVILLE, DE 19933 FAX - (302) 721-4900

ELEVATIONS- SHEET 2

DESCRIPTION
DRAFT 1

ISSUE DATE
2021-1-20

SCALE: AS NOTED

DRAWN BY: H. SCOTT

SHEET #
3.2-1

JOB #
XXXX



Mayor & Council of Berlin

10 William Street, Berlin, Maryland 21811
Phone 410-641-2770 Fax 410-641-2316
www.berlinmd.gov



PLANNING COMMISSION APPLICATION

DATE: 03/30/2021 HEARING DATE: 4/14/21 CASE NUMBER: 5-12-21-03

APPLICATION FOR: ☒ SUBDIVISION ☒ SITE PLAN REVIEW

PROJECT NAME: The Berlin Commons

LOCATION OF PROPERTY: 21 Jefferson St.

SIZE OF PROPERTY: 0.0881 acres ZONING: B1 TOTAL LOTS: 1

PROPERTY OWNER/AGENT Brett and Megan Hines PHONE # (240) 997-2211

ADDRESS 313A Bay St, Berlin, MD 21811 EMAIL info@thebuzzmeadery.com

SIGNATURE OF APPLICANT  

- Applications must be submitted at least two weeks prior to a regularly scheduled meeting of the Planning Commission.
- Three copies of the proposed subdivision or site plan must be provided with this application.
- Applicable review fees must be paid when application is submitted.

received
4/15/2021



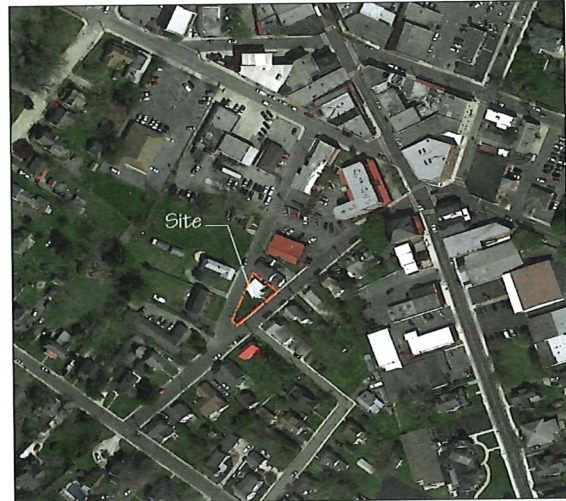
This is the logo for the property. It will be called The Berlin Commons.



This is a photograph of the current lot.
No buildings or structures currently exist on the property.
It is often used as an overflow parking lot.



6 Location Map
A00



5 Vicinity Map
A00

PROJECT DIRECTORY

OWNER
THE BUZZ MEADERY
BRETT & MEGAN HINES
9040 WORCESTER HIGHWAY UNIT D
BERLIN, MD 21811

ARCHITECT
DAVID D. QUILLIN, AIA, LEED AP
5705 WATERSIDE DRIVE
BERLIN, MD 21811

CONTRACTOR
TBD

Scope of Work

- Conversion of an open lot into a fenced-in outdoor event space

3/29/21 50% Schematic Design
4/5/21 75% Schematic Design
4/8/21 100% Schematic Design

Note: Do not scale drawings. Contact Architect for any errors, omissions, or clarification before proceeding with work.

Proposed BUZZ MEADERY EVENT SPACE Berlin, Maryland

Zoning Data

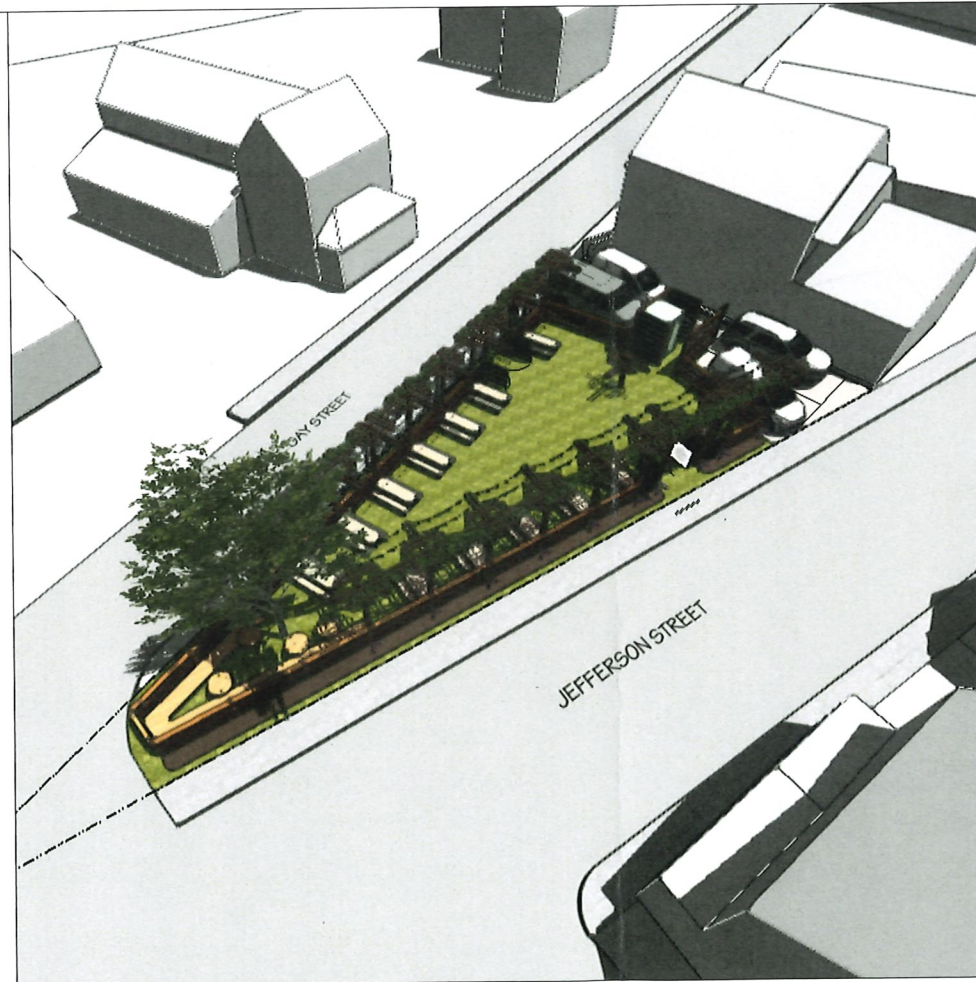
Zoned: B1 Town Center District

Setbacks:

Front yard setback:	Required:	10'
	Min. Actual:	NA
Side yard setback:	Required:	0'
	Min. Actual:	NA
Rear yard setback:	Required:	15'
	Min. Actual:	NA
Max. building height:	Required:	45'
	Actual:	NA

THE BUZZ MEADERY
EVENT AREA
BERLIN, MARYLAND

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 12056, expiration date 03-01-2019.



1 Aerial View Proposed Improvements
A00 Scale: None

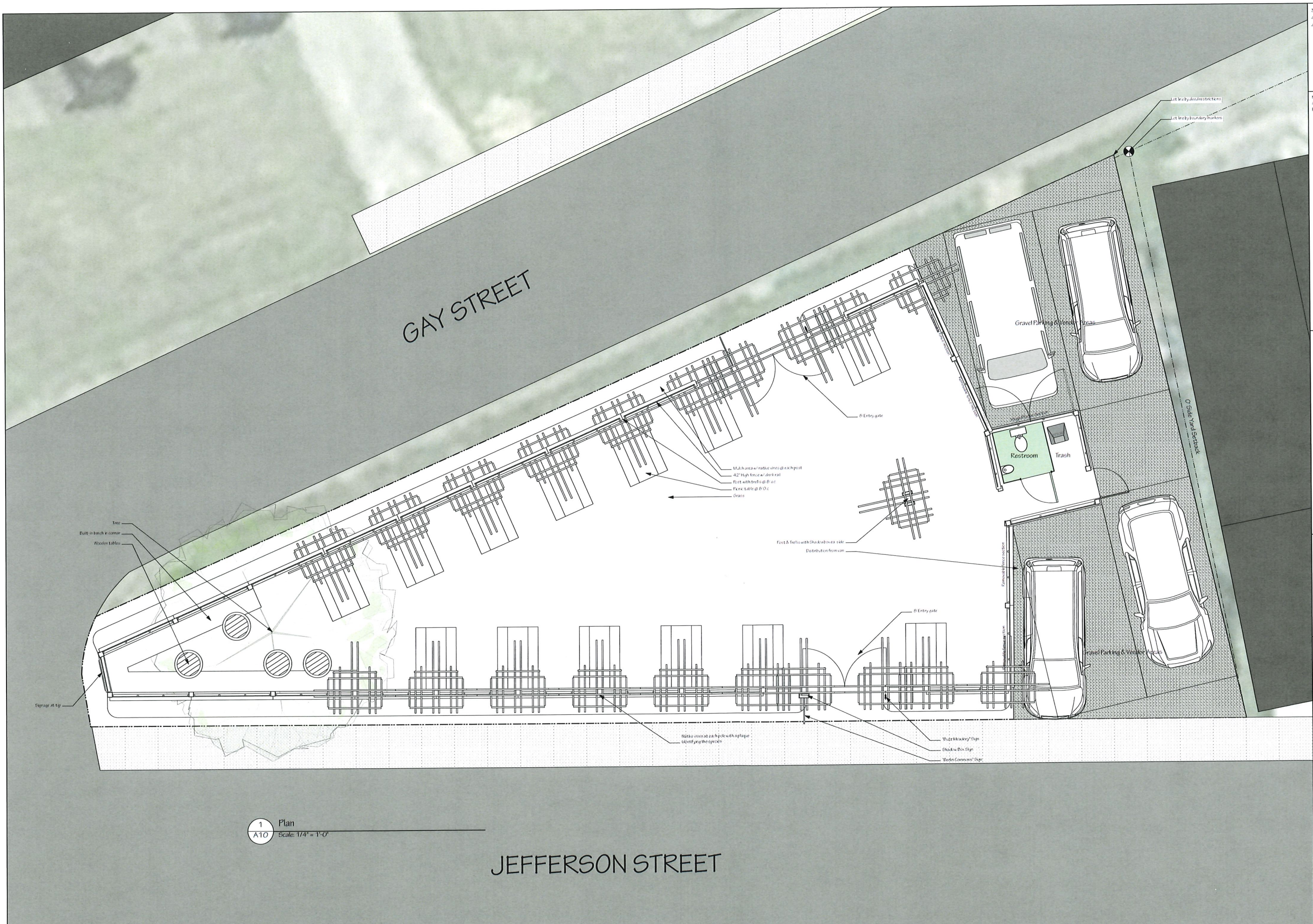
Drawing List

A00	Title Sheet
A10	Plan
A20	Fence Design
A30	Perspectives

Date 8 April 2021
Job # 2101
Scale
Title Title Sheet

DAVID D. QUILLIN, AIA, LEED BD+C
DAVID D. QUILLIN ARCHITECTURE
5705 WATERSIDE DRIVE
BERLIN, MD 21811
410.383.3454
DDOARCH@COMCAST.NET
WWW.DAVIDQUILLINARCHITECTURE.COM

A00



3/28/21
4/6/21
4/6/21

50% Schematic: Design
75% Schematic: Design
100% Schematic: Design

Note: Do not scale drawings. Contact Architect for any errors, omissions or clarification before proceeding with work.

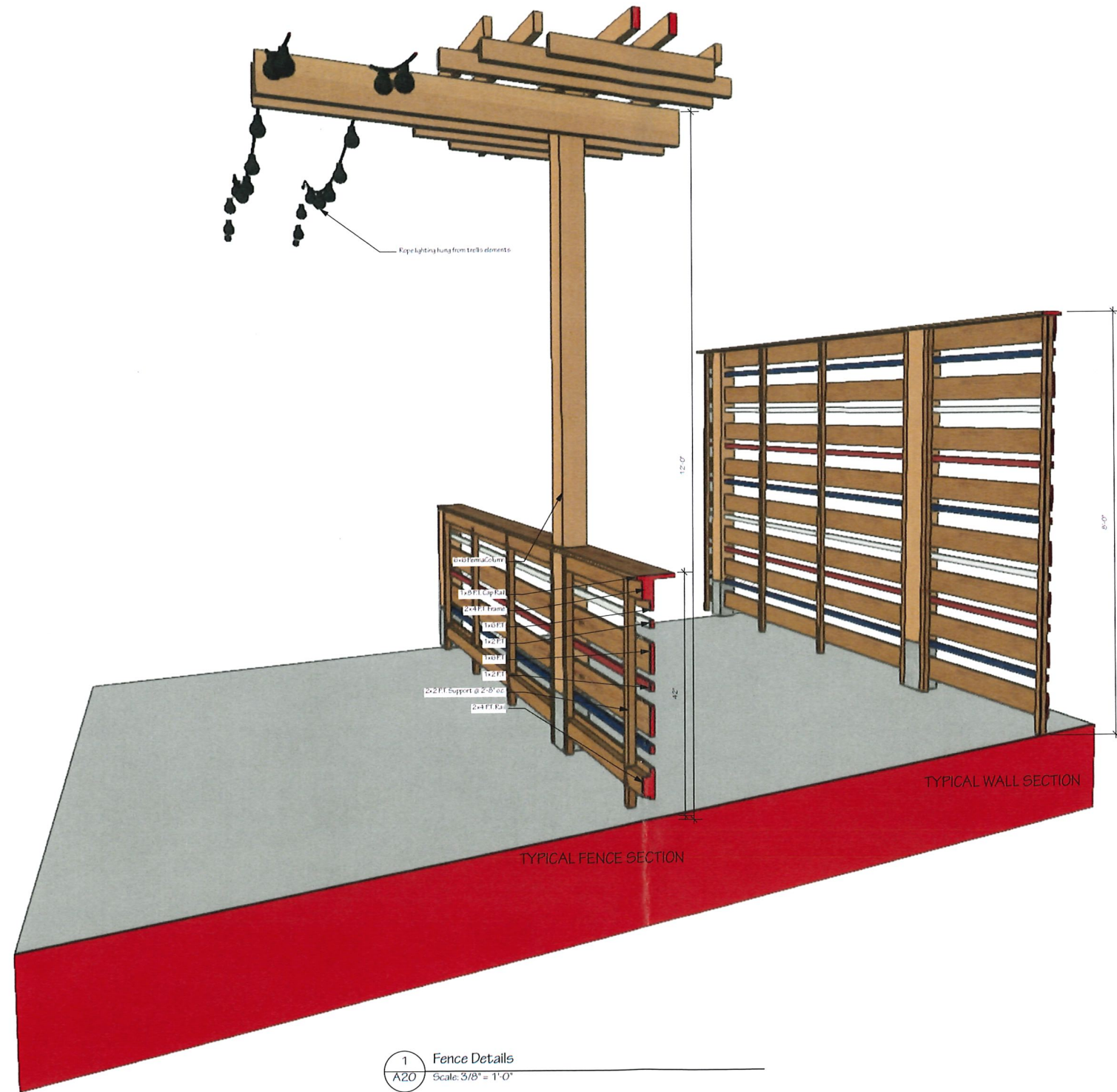
**THE BUZZ MEADERY
EVENT AREA**
BERLIN, MARYLAND

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 120665, expires date 03-01-2019.

DAVID D. QUILLIN, AIA, LEED BD+C
DAVID D. QUILLIN ARCHITECTURE
5705 WATERSIDE DRIVE
BERLIN, MD 21811
410.629.1464
DDOARCH@COMCAST.NET
WWW.DAVIDQUILLINARCHITECTURE.COM

Date: 8 April 2021
Job #: 2101
Scale:
Title: Plan

A10



1 Fence Details
A20 Scale: 3/8" = 1'-0"

3/28/21 50% Schematic Design
4/5/21 75% Schematic Design
4/8/21 100% Schematic Design

Note: Do not scale drawings. Contact Architect for any errors, omissions, or clarifications before proceeding with work.

THE BUZZ MEADERY
EVENT AREA
BERLIN, MARYLAND

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 120066, expiration date 05/01/2019.

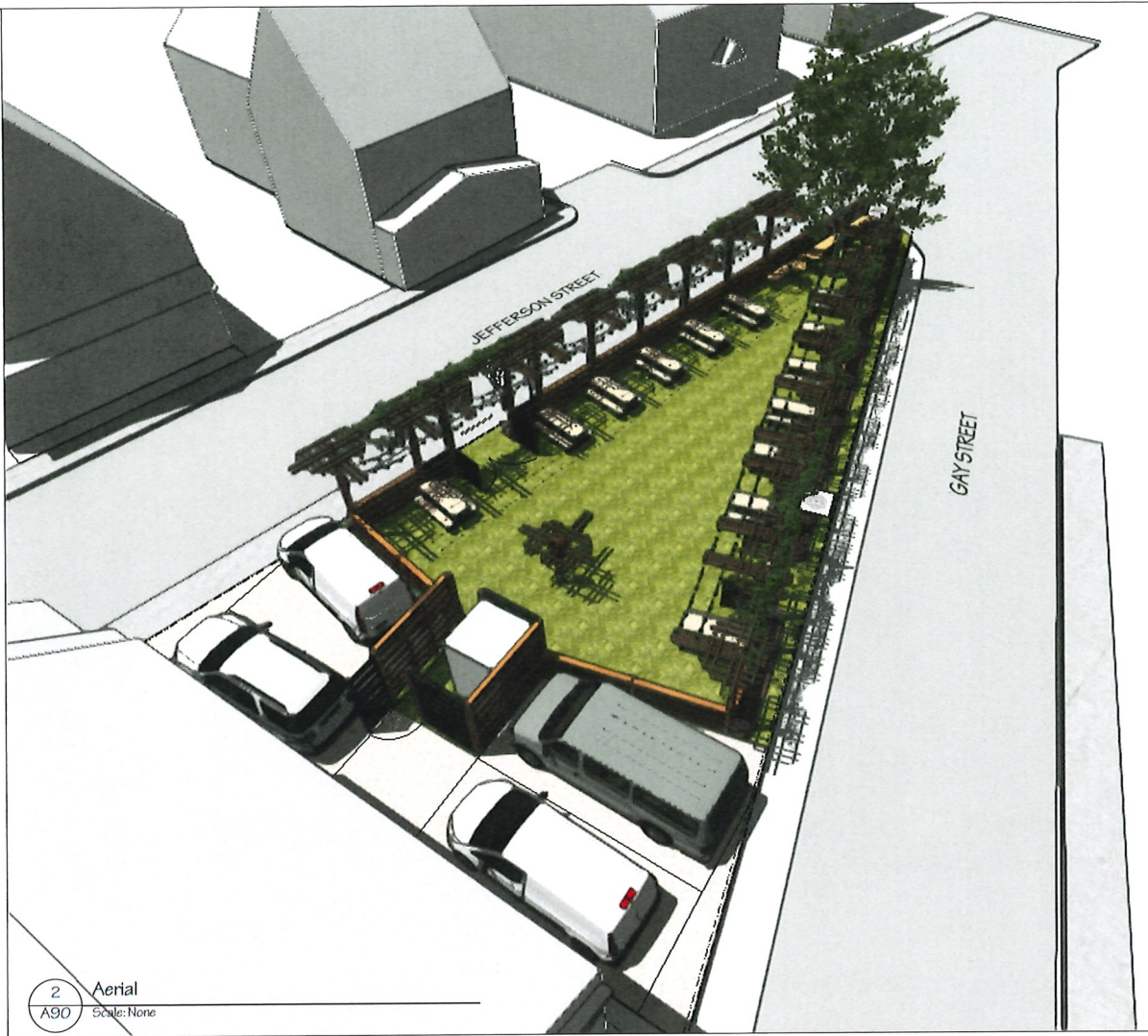
DAVID D. QUILLIN, AIA, LEED BD+C
DAVID D. QUILLIN ARCHITECTURE

5705 WATERSIDE DRIVE
BERLIN, MD 21811
410.693.1464

DDAARCH@COMCAST.NET
WWW.DAVIDQUILLINARCHITECTURE.COM

Date 8 April 2021
Job # 2101
Scale
Title Fence Design

A20



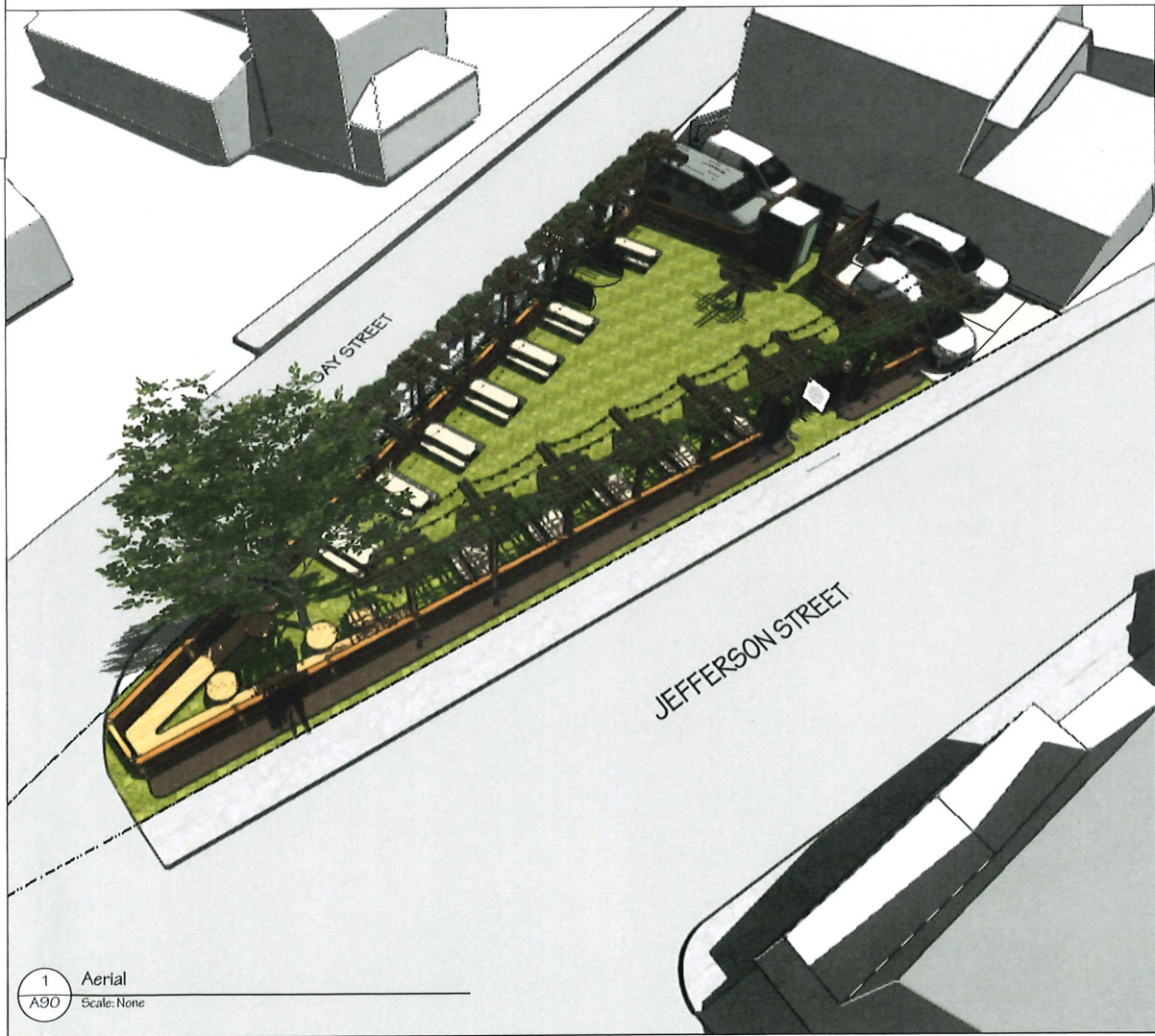
2 Aerial
A90 Scale: None



3 Ground Level View
A90 Scale: None



4 Ground Level View
A90 Scale: None



1 Aerial
A90 Scale: None

3/29/21 50% Schematic Design
4/6/21 75% Schematic Design
4/6/21 100% Schematic Design

Note: Do not scale drawings. Contact Architect for any errors, omissions, or clarification before proceeding with work.

THE BUZZ MEADERY EVENT AREA BERLIN, MARYLAND

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 12060, expiration date 03-01-2019.

DAVID D. QUILLIN, AIA, LEED BD&G
DAVID D. QUILLIN ARCHITECTURE
5708 WATERSIDE DRIVE
BERLIN, MD 21811
410.639.1464
DDOARCH@COMCAST.NET
WWW.DAVIDQUILLINARCHITECTURE.COM

Date 8 April 2021
Job # 2101
Scale
Title Perspectives

A90