



# Mayor & Council of Berlin

10 William Street, Berlin, Maryland 21811

Phone 410-641-2770 Fax 410-641-2316

[www.berlinmd.gov](http://www.berlinmd.gov)

**Town of Berlin  
Planning Commission  
July 16, 2025 - 5:30 PM  
Berlin Town Hall – Council Chambers**

- 1. Call To Order**
- 2. Agenda Adoption**
- 3. Approval of Minutes – June 11, 2025**
- 4. Election of Chairman & Vice-Chairman**
- 5. Case # PC-7-16-25-04: 9933 Old Ocean City Blvd., Burley Building Company,  
Concept Site Plan Review**
- 6. Comments from the Public**
- 7. Comments from the Staff**
- 8. Comments for the Chairman**
- 9. Comments from the Commission**
- 10. Adjournment**

**Any persons with questions about the above-referenced meeting or any persons needing special accommodations should contact Kate Daub at 410-641-4002. Written materials in alternate formats for persons with disabilities are made available upon request. TTY users dial 7-1-1 in the State of Maryland.**

Town of Berlin  
Planning Commission  
Wednesday, June 11, 2025  
Meeting Minutes

Chairman Matt Stoehr called the Planning Commission meeting to order on June 11, 2025, at 5:30 PM. The members present included Vice Chairman Austin Purnell, Pete Cosby, Erich Pfeffer, Steven Scheiber, Dirk Widdowson, Janelle Gerthoffer, and Logan Hall. The member absent was Newt Chandler. The town staff present included Town Administrator Mary Bohlen, Acting Planning and Zoning Director Ryan Hardesty, and Special Projects Administrator Kate Daub. Others present were Councilmember Jay Knerr.

Chairman Stoehr called the meeting to order and requested a motion to approve the agenda for the June 11, 2025, meeting. Mr. Purnell made the motion, which Mr. Cosby seconded, and the Commission approved the agenda unanimously.

Next, Chairman Stoehr requested a motion to approve the minutes from the meeting held on May 14, 2025. Mr. Widdowson moved to approve the minutes, and Mr. Purnell seconded the motion. All members approved the minutes unanimously.

Chairman Stoehr then introduced two new members to the Commission, including Ms. Janelle Gerthoffer as the first alternate and Mr. Logan Hall as the second alternate. He invited Ms. Gerthoffer to join the commissioners at the dais to participate in the meeting due to Mr. Chandler's absence.

Mr. Blair Rinnier of Rinnier Development Company, accompanied by his civil engineer, attended the meeting to present a revised emergency access plan for the OCD Phase 2B Comprehensive Development Plan. He stated that the original road layout, designed to support development across 120 to 190 acres, had been adjusted due to changing construction conditions. He explained that Oceans East 2 had been divided into two sub-phases, 2A and 2B. He clarified that the road section currently under review was never intended for actual construction but had served as a placeholder to assist with building placement.

He said that the updated plan reroutes access for 96 residential units through Oceans East 1, specifically near the clubhouse area. He added that the southern portion of the development, known as Oceans East 2B, would be addressed in a future expansion phase. He stated that the revised plan includes three access points: the existing construction entrance from Seahawk Road, intended for emergency vehicles; the main entrance of Oceans East 1; and a newly proposed emergency access route. He concluded by noting that this new route would provide internal connectivity within the development while avoiding conflicts with public traffic.

Mr. Cosby expressed concern regarding the historical neglect of emergency access roads, particularly those made of gravel, which often made them unsuitable for ambulance use. In response, Mr. Rinnier stated that the proposed emergency road would be built to full municipal standards, including asphalt paving and adequate stabilization. He assured the Commission that the road would be clearly marked with signs to limit residential traffic and would be regularly maintained until future phases of the road network were completed. He further explained that the segment highlighted in red on the submitted plans would be constructed to the same structural standards as the other neighborhood roadways.

Further discussion focused on traffic flow design elements, including grassy medians and boulevard-style roads. Mr. Purnell stated that documentation needed approval from the Berlin Fire Department

before the project could proceed, a condition that Chairman Stoehr confirmed as necessary. Mr. Scheiber inquired about how signage would be implemented to prevent residents from using the emergency-only road. In response, Mr. Rinnier said that both the design and strategic signage would deter unauthorized use. He explained that traffic would be routed past the clubhouse to foster a sense of community. He also mentioned a future roundabout, referred to as the “track circle,” as part of the site’s long-term infrastructure plan.

Mr. Rinnier stated that the revised access plan would not compromise emergency response capabilities. He added that the overall distance and layout for emergency staging would remain consistent with earlier plans, and he confirmed that several existing staging areas were still fully functional. Despite these assurances, Chairman Stoehr expressed concern about the long-term reliability of the proposed emergency access strategy. In response, Mr. Rinnier offered to coordinate a meeting between the town’s Planning Department staff, the Berlin Fire Department, and his project team to finalize a design acceptable to all parties.

Mr. Widdowson sought clarification regarding a perceived request mentioned in the staff report included in the meeting packet to remove a previously planned roundabout. Mr. Rinnier stated that the roundabout would not be eliminated but rather deferred to a future phase. He stressed that the proposed emergency road was intended only as a temporary solution and not a permanent replacement.

Mr. Widdowson stated he would support conditional approval of the plan based on the staff’s recommendations and made a motion to approve the proposal with several key clarifications. He said that confirmation should be obtained from the Berlin Fire Company to ensure that the revised access lane, along with any changes to the originally proposed roundabout, would continue to meet all emergency access requirements.

He expressed concern over the language referring to the “elimination of the roundabout” and stated that he did not support its complete removal but preferred that it be deferred or modified as necessary. He suggested holding a meeting to review the construction of the emergency access road and identify suitable areas for emergency vehicle turnaround and staging, particularly near Building 1 and throughout Phase 2. He further emphasized that future phases of development must incorporate consistent and well-planned circulation patterns to prevent the creation of isolated sections of the community that rely on a single point of access. Mr. Purnell seconded the motion, and it passed unanimously.

Next, Mr. Mark Spencer-Cropper, representing Coastal Ventures Properties, LLC, introduced the rezoning request for Parcel 57. He stated he was accompanied by Mr. Palmer and Mrs. Sandy Gillis, with Mr. Gillis acting as the principal of the development firm. Mr. Cropper explained that the applicant sought to rezone the parcel from R-1 (Residential) to B-2 (Shopping District) as a condition for finalizing a land disposition agreement with the Town of Berlin. To support the application, he distributed binders to the commission that contained documentation and materials aimed at demonstrating the appropriateness and necessity of the rezoning request.

He explained that the site, previously home to the Tyson Chicken plant, had historically been used for industrial purposes but was still zoned for residential use. He stated that this zoning classification was either an oversight or had become outdated due to significant changes in the surrounding neighborhood. Mr. Cropper added that the Maryland Department of the Environment had issued a “No Further Requirements Determination” for the parcel, confirming that no additional state-imposed environmental controls were needed for redevelopment as a commercial or industrial site.

He argued that rezoning was both appropriate and necessary to reflect current land-use conditions and to support redevelopment. He stated that supporting materials included a land-use map designating the area as “neighborhood commercial,” along with aerial photographs and a binder of planning documentation. Mr. Cropper asserted that the rezoning request was backed by Maryland Land Use Code §4-204, which permits changes in zoning when conditions justify such alterations. He acknowledged that there had been no recent population changes to independently warrant rezoning but contended that the site’s existing public utilities and its proximity to major thoroughfares, Route 50, Route 113, and Route 818, made it ideally suited for commercial redevelopment. He noted that the property’s inclusion in a development agreement with the Town of Berlin, which outlines specific, pre-approved commercial uses, further reinforced the case for rezoning.

Mr. and Mrs. Gillis both expressed their support for the rationale and documentation presented by Mr. Cropper.

Mr. Cropper also pointed to Section 8.3 of the development agreement, which he stated explicitly prohibited undesirable uses such as pawn shops, adult entertainment venues, liquor stores, and other businesses deemed incompatible with the character of the community. Mr. Widdowson sought clarity regarding the term “unrestricted commercial” as used in the state’s environmental certification. Mr. Cropper explained that it referred to permitted uses such as shopping centers, office buildings, restaurants, and medical facilities. He noted that these were considered Tier 2 uses and required no additional environmental oversight from the state.

Additionally, Mr. Widdowson requested clarification regarding the intended development plan. In response, Mr. Cropper directed him to Exhibit D of the development agreement, which outlined a two-phase plan focused on office and retail construction. Mr. Gillis confirmed that the project would not include any residential development.

Chairman Stoehr inquired about when the current R-1 zoning designation was applied. Town Administrator Mary Bohlen stated that she was uncertain of the exact date but believed the designation was established when the town purchased the property in 2016, with the initial intent of developing a public park. She added that the idea had since been abandoned.

Ms. Gerthoffer said she supported the rezoning, noting that it aligned with the economic development goals outlined in the town’s comprehensive plan. However, she recommended using the more narrowly defined “neighborhood” boundary presented in Tab 8 of the binder to guide the project’s scope and integration with the surrounding area.

Town of Berlin Councilmember Jay Knerr, who was present at the meeting, also expressed strong support for the project. He stated he was confident in Coastal Ventures’ ability to successfully revitalize the site and noted that the Mayor and Council had already shown their backing by submitting the rezoning application as the property owner.

A motion made by Mr. Cosby, seconded by Mr. Widdowson, was unanimously passed to recommend approval of the rezoning request to the Mayor and Council.

Chairman Stoehr expressed concerns about pedestrian safety along Old Ocean City Boulevard (Route 346), particularly in areas adjacent to newly constructed townhouse developments. He noted that with an increasing number of children and families using the area, and limited sidewalks available, the safety risks were growing. In response, Ms. Bohlen clarified that the road is under the jurisdiction of the



Maryland State Highway Administration (SHA) and confirmed that Mayor Zack Tyndall intended to raise the issue during an upcoming meeting with SHA officials. Mr. Widdowson recommended that the town consider applying for state and federal grants specifically designed to improve pedestrian safety. He also proposed revisiting the town's sidewalk master plan to address existing gaps and prioritize future enhancements.

With no further questions or comments, Chairman Stoehr called for a motion to adjourn. On a motion made by Mr. Cosby and seconded by Mr. Purnell, the meeting adjourned at 6:42 p.m.

Respectfully submitted,

*Kate Daub*

Kate Daub  
Special Projects Administrator



# Mayor & Council of Berlin

10 William Street, Berlin, Maryland 21811

Phone 410-641-2770 Fax 410-641-2316

www.berlinmd.gov



## PLANNING COMMISSION APPLICATION

DATE: 6/9/25 CASE NUMBER: PC-7-16-25-04

APPLICATION FOR (check one):        SUBDIVISION        SITE PLAN REVIEW ✓ OTHER

PROJECT NAME/DESCRIPTION: BURLEY BUILDING COMPANY

LOCATION OF PROPERTY: 9933 Old Ocean City Blvd

SIZE OF PROPERTY: 3 ACRES ZONING: B-2 TOTAL LOTS: 3

PROPERTY OWNER/AGENT NATHANIEL REISTER PHONE # 410 430 3890

ADDRESS 34 BURLEY ST EMAIL BURLEY BUILDING CO @ GMAIL.COM

### IMPORTANT:

- Applications must be submitted at least thirty (30) days prior to a regularly scheduled meeting of the Planning Commission.
- Nine (9) copies of the proposed subdivision or site plan must be provided with this application.
- Applicable review fees must be paid when application is submitted.

### ADDITIONAL INFORMATION/EXPLANATION:

Concept Approval, SITE PLAN CONCEPT

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

The applicant, or an authorized representative, has been advised to appear at the meeting of the Planning Commission scheduled for Wednesday, 7/16/2025 (date).

Applicant Signature [Signature] Date 6/16/25

### APPROVED:

\_\_\_\_\_  
Planning Commission Chair (Date)

\_\_\_\_\_  
Planning Director (Date)



SITE DATA

OWNER / DEVELOPER

Burley Building Company  
34 Burley St.  
Berlin, MD 21811  
Contact: Mr. Nate Reister  
Ph: (410) 430-3890  
Email: burleybuildingco@gmail.com

CONSULTANT

Vista Design, Inc.  
Contact: Steve Engel, R.L.A.  
11634 Worcester Highway  
Showell, Maryland 21862  
Phone: (410) 352-3874  
Fax: (410) 352-3875

SHEET INDEX

SHEET C 100  
SHEET C 101

Preliminary Site Plan  
Existing Conditions & Wetland Delineation Plan

SITE INFORMATION

Tax Map 0025  
Parcels 0170 & 0193  
Zoning B-2 Shopping District  
Existing Land Use Open & Wooded  
Site Area  
Parcel 170 ±1.11 Ac  
Parcel 193 ±0.92 Ac  
Total ±2.03 Ac  
Parcel 170 & Parcel 193 to be consolidated

Setbacks  
Front 30' From CL of Old Ocean City Blvd (Parcel 193)  
Sides 6'  
Rears 30' (Abutting an R District)  
15' (Other)

WATER & SEWER PROVIDER

Public Water - Town of Berlin  
Public Sewer - Town of Berlin

NON-TIDAL INTERMITTENT WATERWAY

A Non-Tidal Intermittent Waterway is present on Parcel 170. The limits have been delineated by Kenneth Redinger (WF #1 - WF #13) and are shown on Sheet C 101.

The subject property was evaluated for wetlands and waterways subject to regulation under Section 404 of the Clean Water Act and Title 26 Subtitle 23 of the Code of Maryland Regulations. A routine Level on-site investigation was conducted by Kenneth W. Redinger and a representative of the Maryland Department of the Environment on December 1, 2022 in accordance with the 1987 Corps of Engineers Wetland Delineation Manual in conjunction with the Regional Supplement to the Corps of Engineers Wetlands Delineation Manual: Atlantic and Gulf Coastal Plain Region, Version 2.0 (November 2010) and associated state and federal regulatory guidance documents. No wetlands were identified within the subject property. The limits of the ordinary high-water mark within the intermittent non-tidal stream, as depicted on this site plan, was delineated by Kenneth W. Redinger Environmental Services on May 15, 2015.

FLOOD ZONE

This property is Located Within Flood Zone X Per FEMA Map # 24047C0153H Dated July 16, 2015 (Town of Berlin 240141).

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

This property is not located within the Worcester County Atlantic Coastal Bays Critical Area

EXISTING LAND USE

Open Space ±0.88 Ac  
Woods ±1.10 Ac  
Non-Tidal Wetlands ±0.05 Ac  
Total Site Area ±2.03 Ac

PROPOSED USE

Front Building A  
• Commercial (Ground Floor) ±2,570 SF  
• Residential (2nd Floor) 5 Units

Front Building B  
• Commercial (Ground Floor) ±2,000 SF  
• Residential (2nd Floor) 3 Units

Total Commercial Building A & B ±4,570 SF  
Total Residential Building A & B 8 Units

Back Building C  
• Retail (Ground Floor) ±852 SF  
• Warehouse (Ground Floor) ±5,789 SF  
• Office ±326 SF  
• Residential (2nd & 3rd Floor) 4 Units

Note: Design/Layout of Buildings A, B & C are by others and subject to change. Please refer to plans provided by Jonathon Selway Architects, LLC.

OFF STREET PARKING REQUIREMENTS

Required 63 Spaces  
Proposed 63 Spaces

BERLIN BUILDING COMPANY Parking Requirements

FRONT BUILDINGS 'A' and 'B'				
Use	SF / Units	Parking SF	Parking Required	
1st Floor Retail	4570	180	25.39	25
2nd / 3rd Floor Residential	8	2	16.00	16
				41

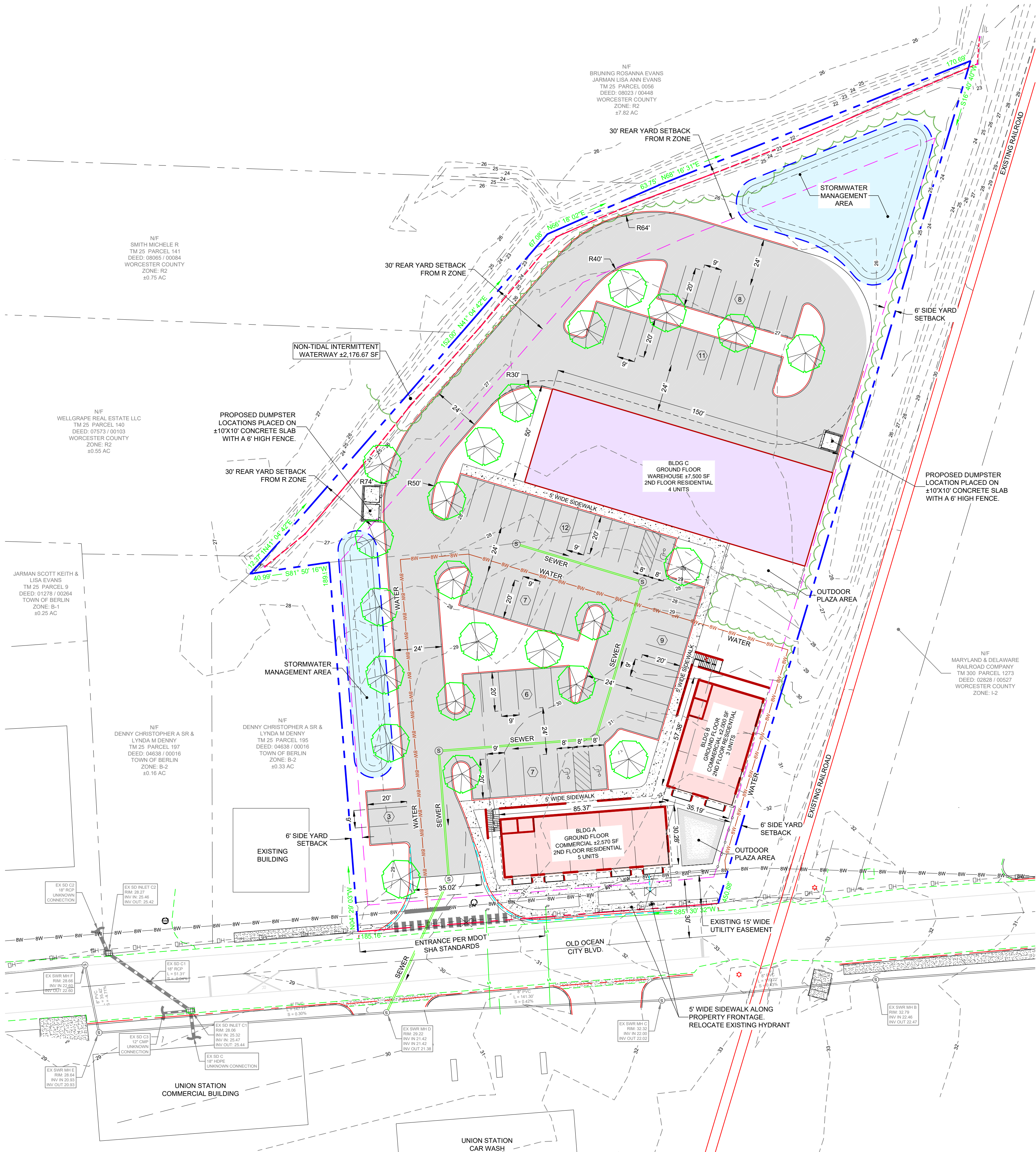
BACK BUILDING 'C' ±7,500 SF TOTAL				
Use	SF / Units	Parking SF	Parking Required	
Unit C Retail	852	180	9.47	9
Unit C Warehouse	5789	180	3.22	3
Unit C Office	326	180	0.91	1
2nd / 3rd Floor Residential	4	2	8.00	8
				22
				Total Required 63

PARKING REQUIREMENTS	
Use	Parking Required
Retail (under 2,000 SF)	200% of Floor Area
Retail (over 2,000 SF)	100% of Floor Area
Warehouse	1 Space for each 2 employees, or 10% of Floor Area
Residential	2 spaces for each dwelling unit

0 15 30 60 90  
SCALE: 1" = 30'

BURLEY BUILDING COMPANY

SITE PLAN  
TOWN OF BERLIN, MARYLAND



LEGEND

Property Line	---
MDOT SHA Right of Way	---
Internal Property Line	---
Adjacent Property Line	---
Building Setback Line	---
Existing Building	---
Existing EOP & Curb	---
Soil Boundary Line	---
Existing 1x Contour	---
Existing 5x Contour	---
Existing Sewer	---
Existing Storm Drain	---
Existing Hydrants & Valves	---
Existing Overhead Wires	---
Existing Sidewalk / Concrete	---
Non-Tidal Intermittent Waterway	---
Proposed Front Buildings	---
Proposed Rear Building	---
Proposed Asphalt Drive / Parking	---
Proposed EOP & Curb	---
Proposed Sidewalk	---
Proposed SWM Areas	---
Proposed Sewer	---
Proposed Water	---
Proposed Tree Line	---
Proposed Tree Plantings	---

GENERAL NOTES

- All work required by these documents (drawings and specifications) shall be new. Wherever the word "Proposed" is used it is considered to be interchangeable with the word "New" and is included in the required work.
- The contractor shall examine a copy of said plan(s) and visit the site in order to determine, to his/her satisfaction the quantities of work required to be performed.
- All materials and methods of construction shall conform to these drawings and specifications and to all applicable Federal, State of Maryland, and The Town of Berlin requirements.
- Any discrepancies between the information provided on these plans and the existing site conditions shall immediately be brought to the attention of the Owner and Engineer.
- The contractor assumes responsibility for any deviations from the drawings and specifications.
- The contractor shall field verify all elevations and pipe inverts prior to construction.
- The contractor shall provide necessary stakeout of the line and grade for the construction.
- No information regarding depth to any temporary or permanent ground water table is provided on these drawings. The contractor shall investigate to his satisfaction the site conditions regarding depth to ground water. Generally, piping, trench and structure construction shall be executed in a de-watered state, consistent with good construction practice. All excavations for manholes and other chambers shall be continually de-watered until the back-fill operation has been completed.
- The contractor shall notify the following parties, three (3) days prior to beginning any work shown on these drawings:
  - Burley Building Company 410-430-3890
  - Miss Utility 1-800-282-8555
  - Vista Design, Inc. 410-352-3874
  - Town of Berlin 410-641-4143
  - MDOT SHA 410-677-4048

- The contractor shall be responsible for the means and methods resulting from any earth moving and/or temporary stockpiling of earth or other materials on site.
- These drawings, the design, and construction features disclosed are proprietary to Vista Design, Inc. and shall not be altered or reused without their written permission. Copyright, latest date here on.
- No construction shall begin until a pre-construction meeting is held between the Contractor, Owner, Engineer & The Town of Berlin Permit Coordinator.
  - There are no steep slopes within the limits of disturbance.
  - There are no streams or stream buffers within the limits of disturbance.
  - There are no highly erodible slopes within the limits of disturbance.
  - There are no springs, seeps or intermittent streams within the limits of disturbance.
  - The contractor must obtain a lane closure permit from the MDOT SHA, District 1 Traffic; a minimum two (2) days prior to performing any work in State Owned roadway.
  - Design, fabrication, and installation of all permanent signing shall be as outlined in the Maryland Standard Sign Book (latest edition)

NOTE:

This drawing, specifications, and work produced by Vista Design, Inc. (VDI) for this project are instruments of service for this project only, and remain the copyrighted property of VDI. Reuse or reproduction of any of the instruments of service of VDI by the Client or assigns without the written permission of VDI will be at the Clients risk and be a violation of the copyright laws of the United States of America and the respective state within which the work was completed.

NOTE:

This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto apparent.



REVISIONS

PROJECT DATA

Project No: 23-019  
File Name: SP 010924.dwg  
TOWN OF BERLIN, MARYLAND  
WORCESTER COUNTY  
Date: 06/12/25  
Scale: 1" = 30'

SITE PLAN  
MIXED USE DEVELOPMENT

BURLEY BUILDING  
COMPANY

VISTA  
DESIGN, INC.  
Engineers • Architects • Surveyors • Landscape Architects  
Land Planning Consultants • GIS Services  
11634 Worcester Hwy, Showell, MD 21862  
Ph: 410-352-3874 • Fax: 410-352-3875 • www.vistadesign.com

PROGRESS PRINT / NOT  
FOR CONSTRUCTION

Sheet No:

C 100



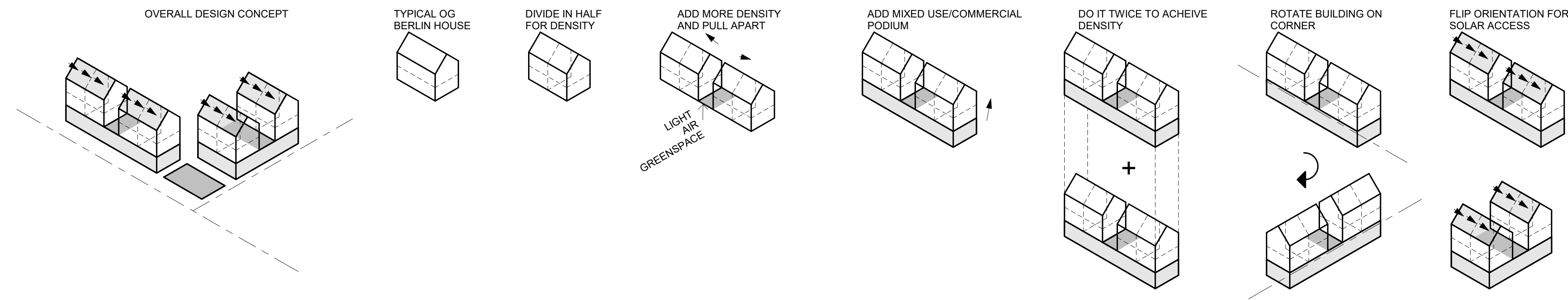
**BURLEY BUILDING CO.**  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE: 06/05/2025  
DRAWN BY: DJ  
DESIGNED BY: DJ  
CHECKED BY: -  
PROJECT NO: 2025.10

SHEET NAME:  
**CONCEPT**

SHEET NO:

**A0.1**





BURLEY BUILDING CO.  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE: 06/05/2025  
DRAWN BY: JS / DJ  
DESIGNED BY: DJ / JS  
CHECKED BY: -  
PROJECT NO: 2025.10  
SHEET NAME:

ARCHITECTURAL  
SITE PLAN

SHEET NO:

A0.2

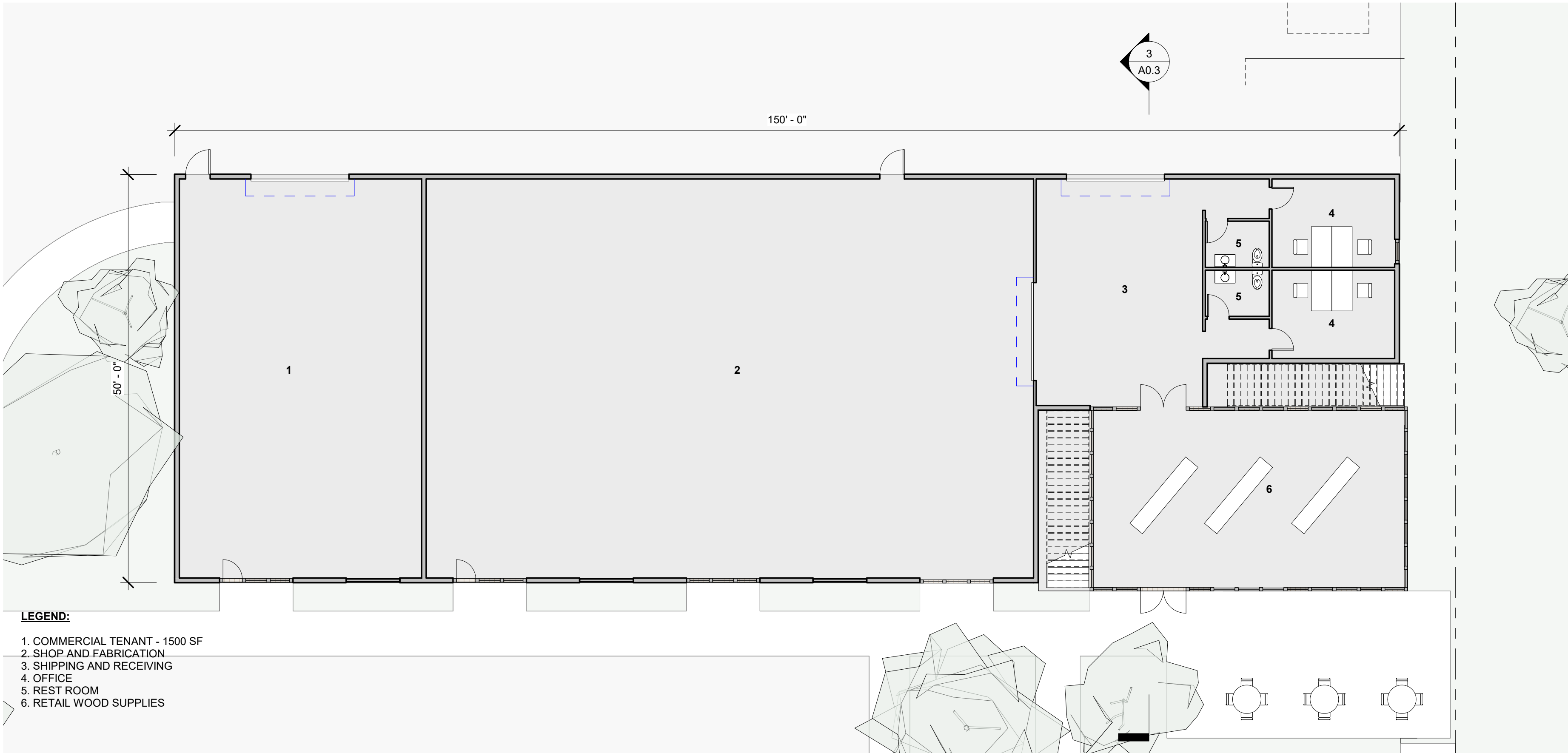


1 ARCHITECTURAL SITE PLAN  
1" = 20'-0"

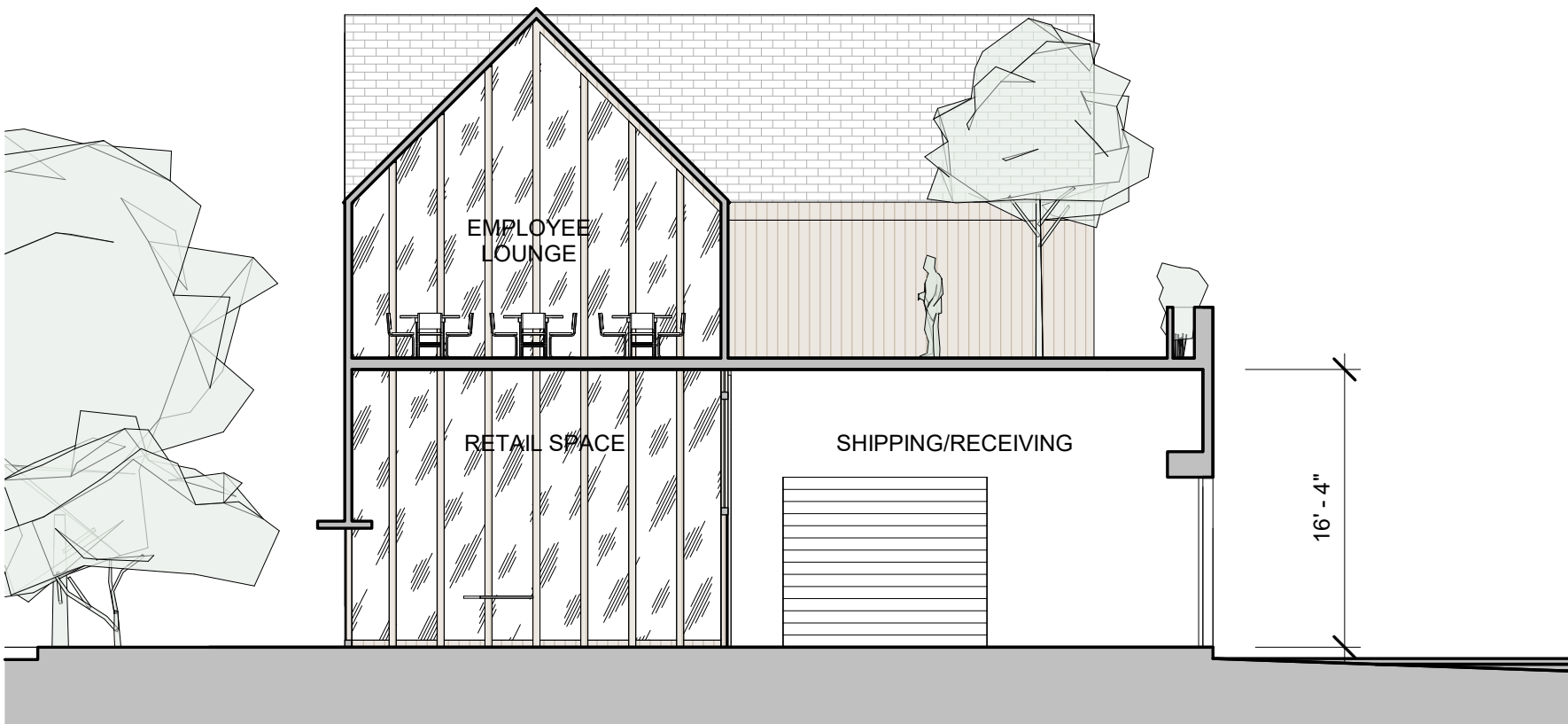
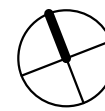


2 FRONT PERSPECTIVE  
12" = 1'-0"





① REAR BUILDING FLOOR PLAN  
1" = 10'-0"



③ SECTION THRU WOODSHOP  
1" = 10'-0"



⑤ REAR BUILDING SECOND FLOOR  
1" = 10'-0"



**BURLEY BUILDING CO.**  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE: 06/05/2025  
DRAWN BY: JS / DJ  
DESIGNED BY: JS / DJ  
CHECKED BY: JS / DJ  
PROJECT NO: 2025.10

SHEET NAME:  
**REAR  
BUILDING  
PLANS**

SHEET NO:

**A0.3**



JONATHON SELWAY, AIA

PH. 443.513.2436  
OFFICE ADDRESS:  
88 CHURCH STREET  
SELBYVILLE, DE 19975  
MAILING ADDRESS  
JONATHON SELWAY ARCHITECTS  
PO BOX 266  
SELBYVILLE, DE 19975

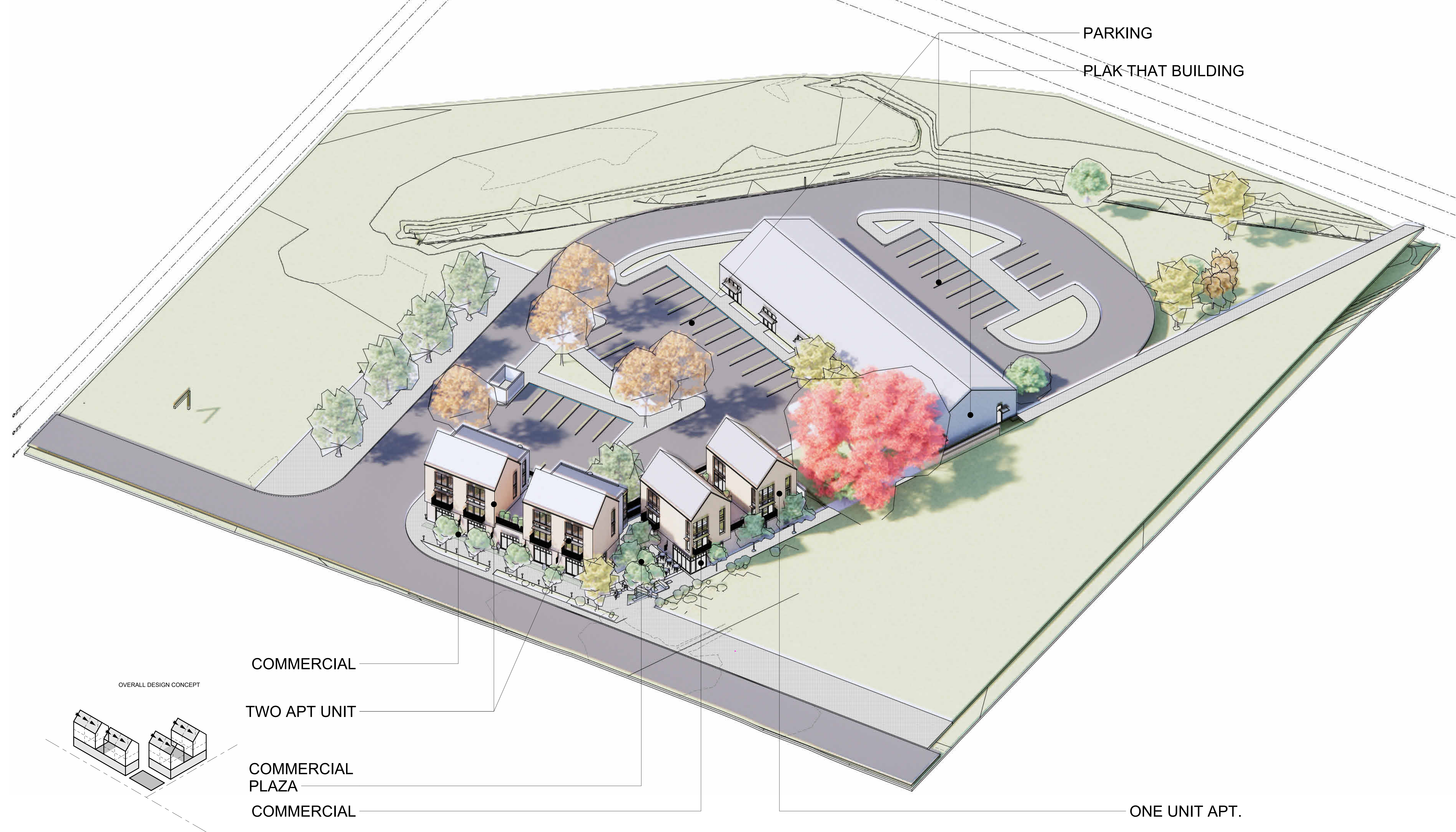
THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE 12/22/2023  
DRAWN Designer  
DESIGNED BY Author  
CHECKED BY Checker  
PROJECT NO. 2023.07  
SHEET NAME

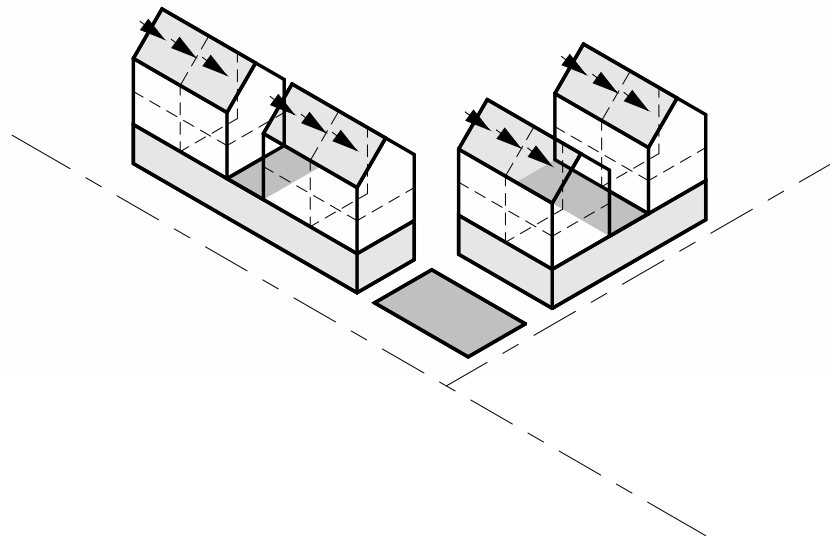
SITE PLAN  
3D

SHEET NO.

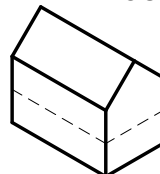
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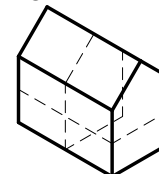
OVERALL DESIGN CONCEPT



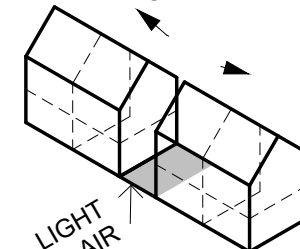
TYPICAL OG  
BERLIN HOUSE



DIVIDE IN HALF  
FOR DENSITY

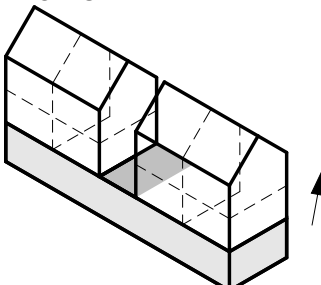


ADD MORE DENSITY  
AND PULL APART

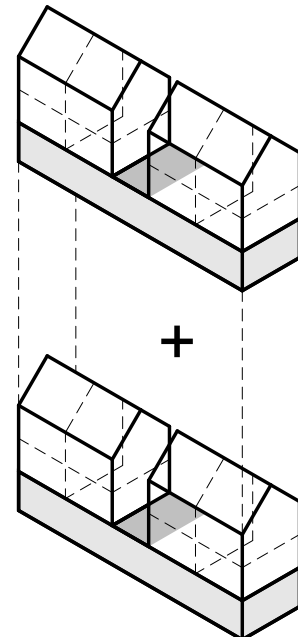


LIGHT  
AIR  
GREENSPACE

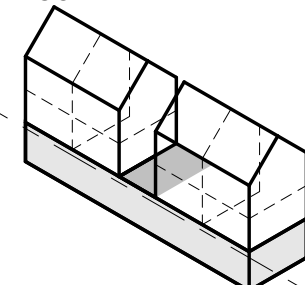
ADD MIXED USE/COMMERCIAL  
PODIUM



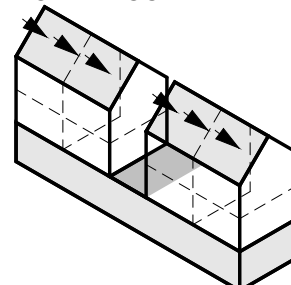
DO IT TWICE TO ACHIEVE  
DENSITY



ROTATE BUILDING ON  
CORNER



FLIP ORIENTATION FOR  
SOLAR ACCESS



A0



JONATHON SELWAY, AIA

PH. 443.513.2436

OFFICE ADDRESS:  
88 CHURCH STREET  
SELBYVILLE, DE 19975

MAILING ADDRESS  
JONATHON SELWAY ARCHITECTS  
PO BOX 266  
SELBYVILLE, DE 19975

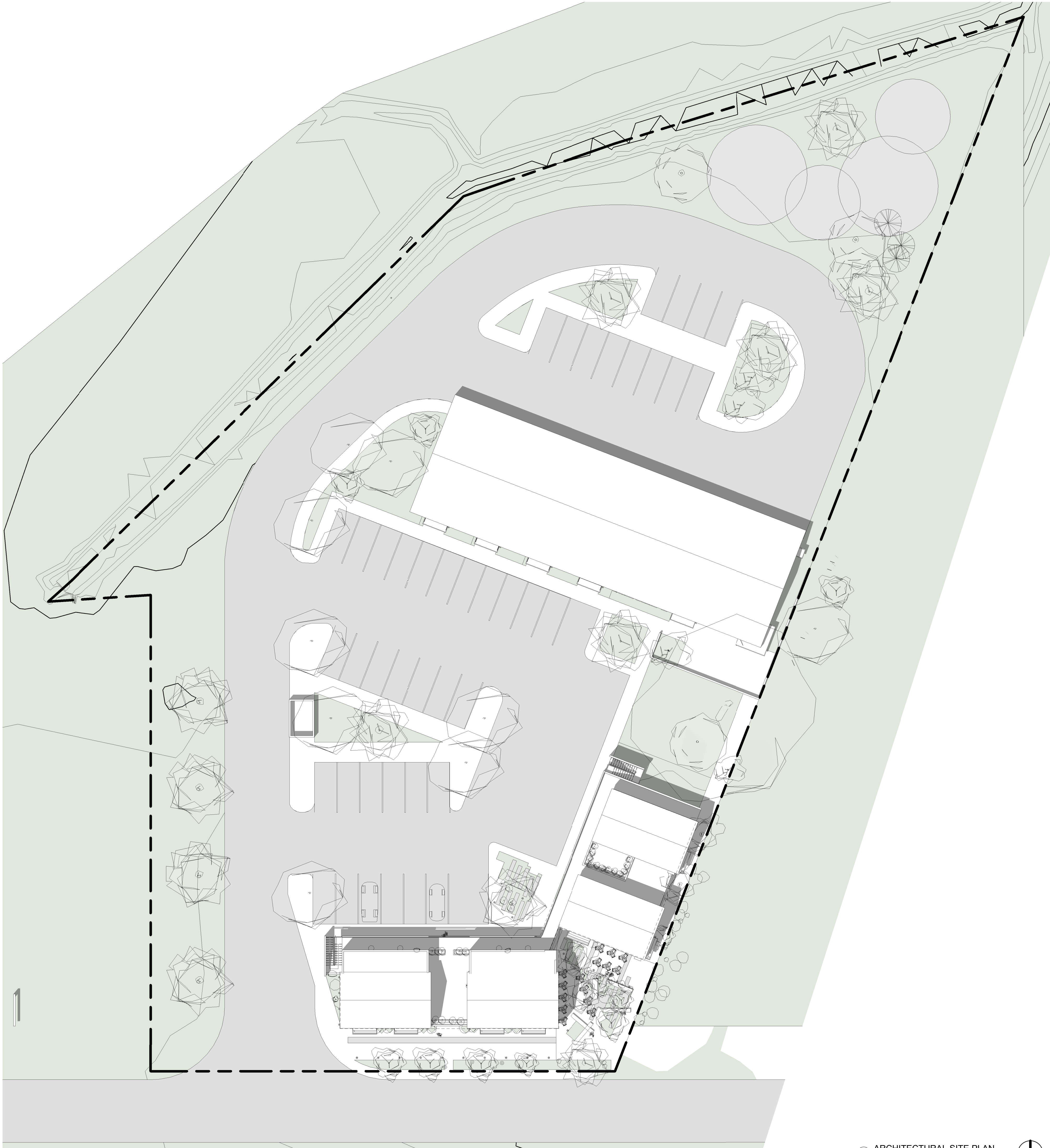
THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE: 12/22/2023  
DRAWN BY: JS / FR  
DESIGNED BY: JS  
CHECKED BY: JS  
PROJECT NO: 2023.07

SHEET NAME:  
SITE PLAN

SHEET NO:

A1





JONATHON SELWAY, AIA

PH. 443.513.2436

OFFICE ADDRESS:  
88 CHURCH STREET  
SELBYVILLE, DE 19975

MAILING ADDRESS  
JONATHON SELWAY ARCHITECTS  
PO BOX 266  
SELBYVILLE, DE 19975



- 1. MASTER BEDROOM
- 2. MASTER BATH
- 3. SECOND BEDROOM
- 4. SHARED BATH

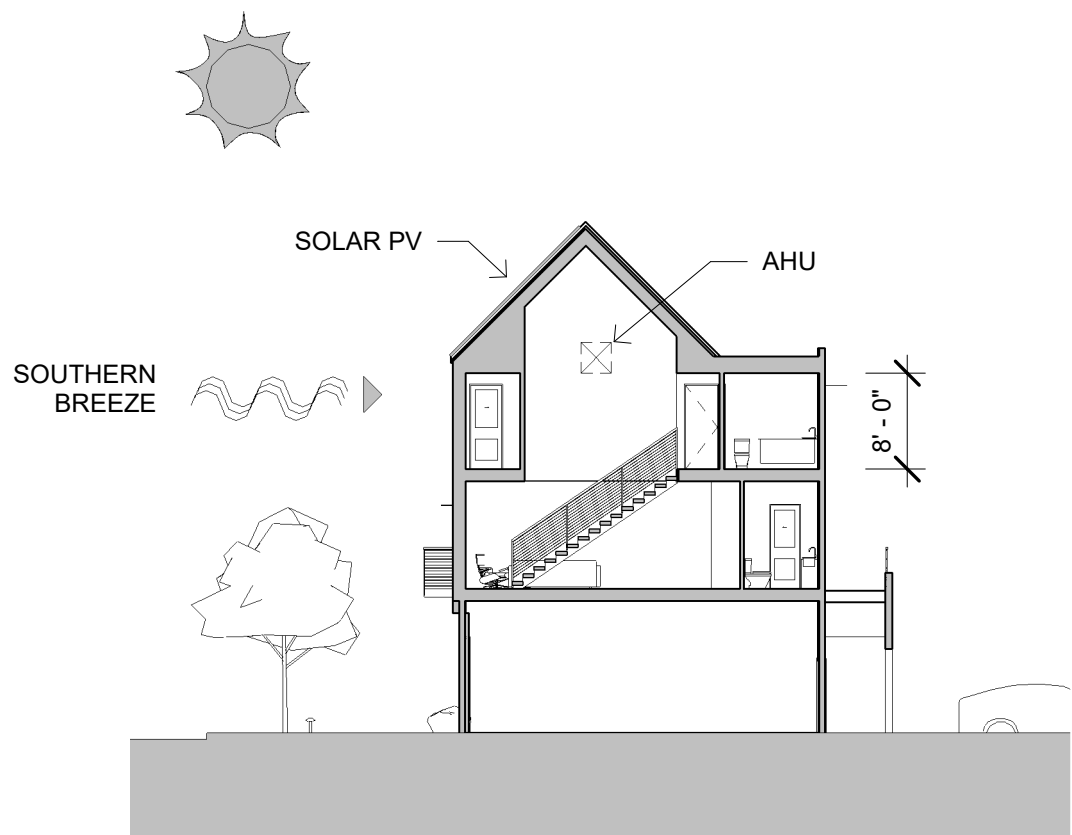
④ THIRD FLOOR PLAN  
1/16" = 1'-0"



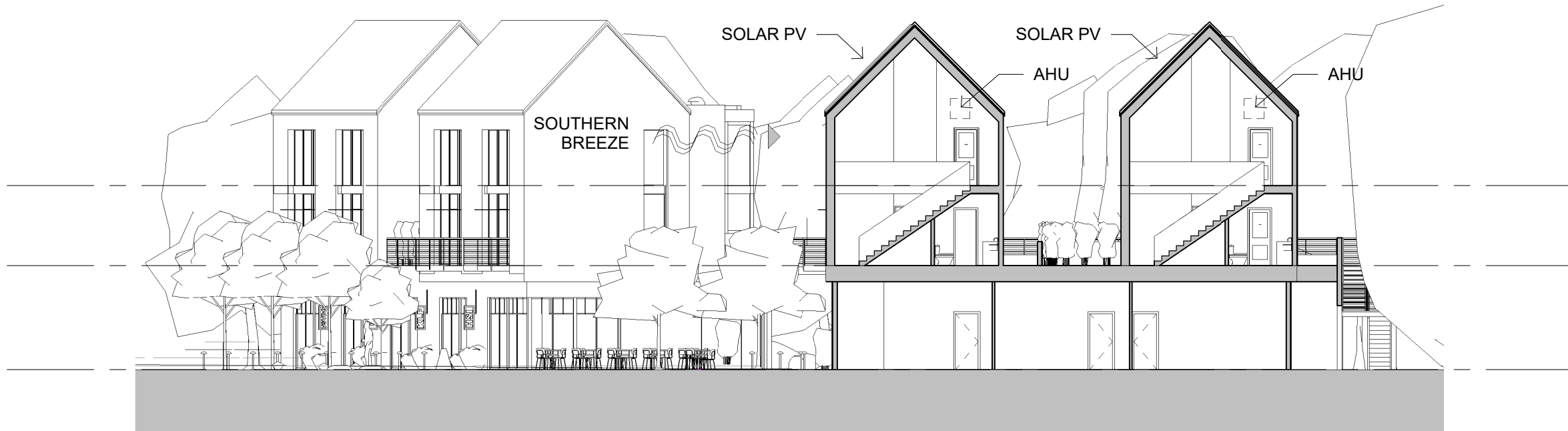
- 1. LIVING ROOM
- 2. DINING
- 3. KITCHEN

② SECOND FLOOR PLAN  
1/16" = 1'-0"

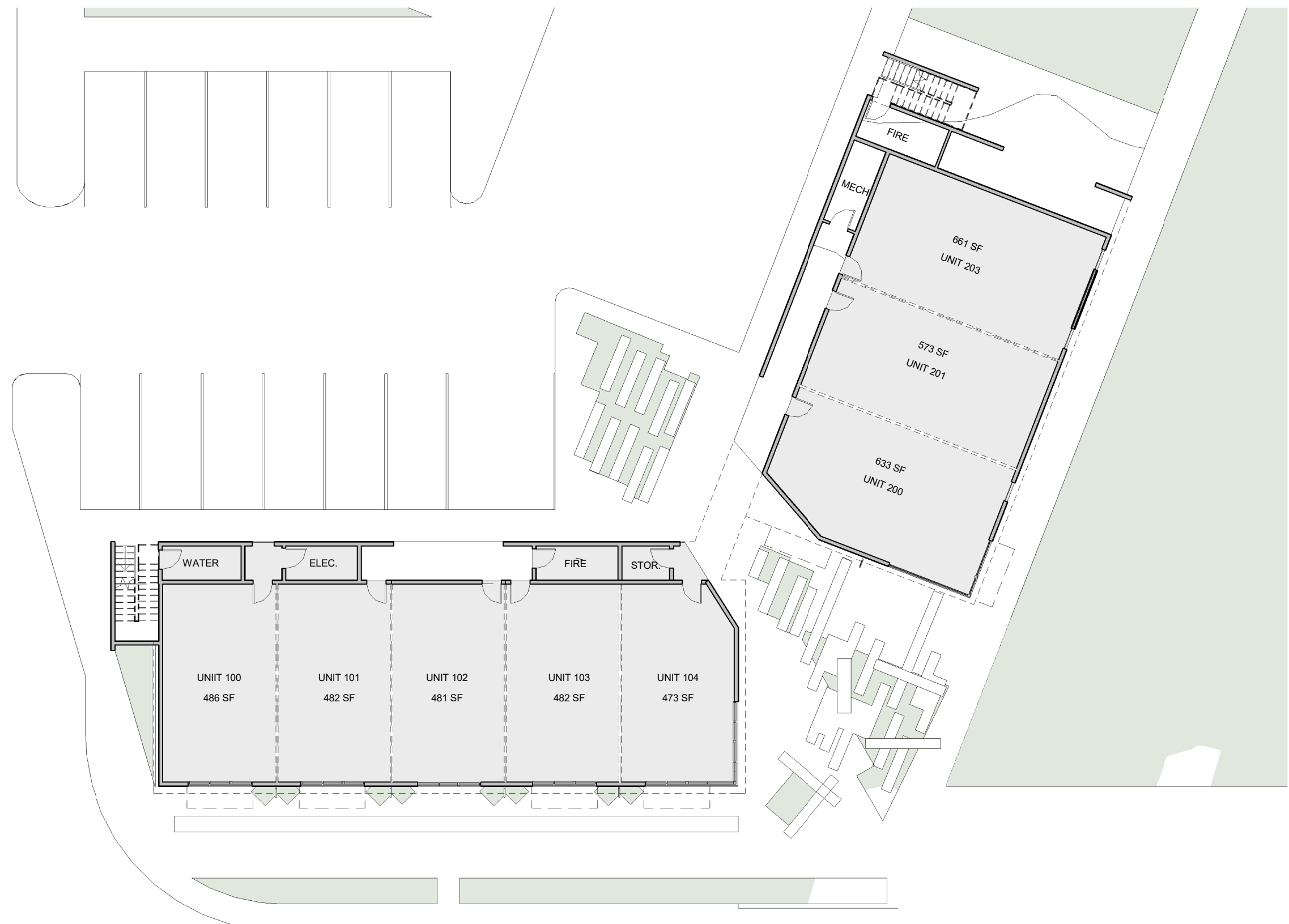
FIRST FLOOR RESIDENTIAL = 3400 SF



③ 2 BED CROSS SECTION  
1/16" = 1'-0"



① 1 BED CROSS SECTION  
1/16" = 1'-0"



⑦ GROUND FLOOR PLAN  
1/16" = 1'-0"

## THE ORCHARDS

OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE: 12/22/2023  
DRAWN BY: JS/FR  
DESIGNED BY: JS  
CHECKED BY: JS  
PROJECT NO: 2023.07

SHEET NAME:  
MIXED USE  
BUILDING  
PLANS

SHEET NO:

A2

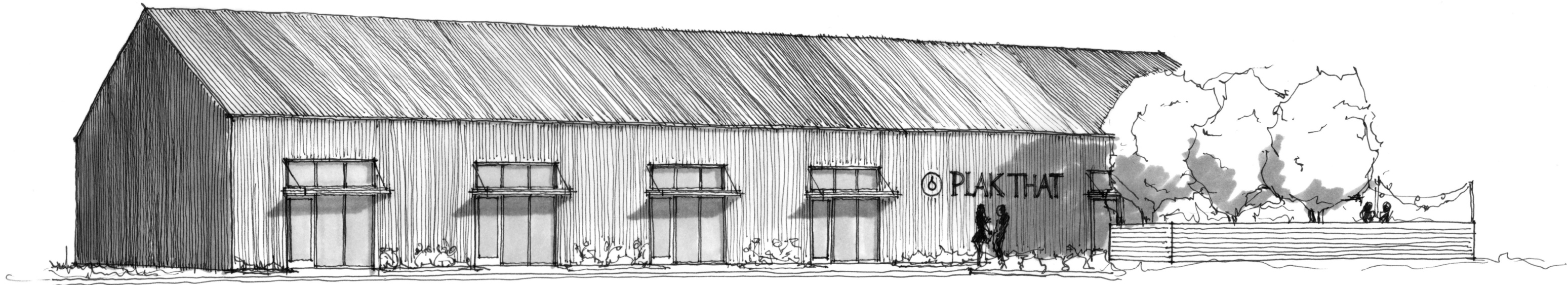


JONATHON SELWAY, AIA

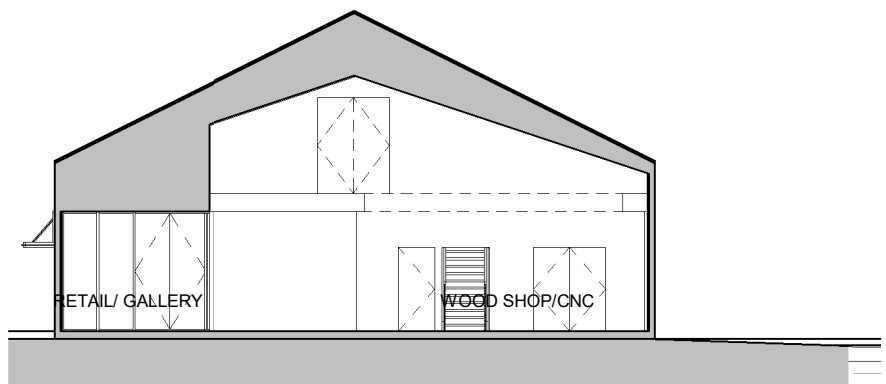
PH. 443.513.2436

OFFICE ADDRESS:  
88 CHURCH STREET  
SELBYVILLE, DE 19975

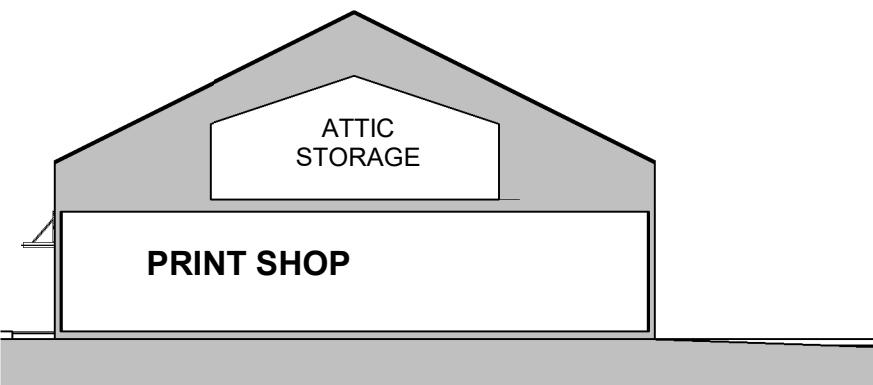
MAILING ADDRESS  
JONATHON SELWAY ARCHITECTS  
PO BOX 266  
SELBYVILLE, DE 19975



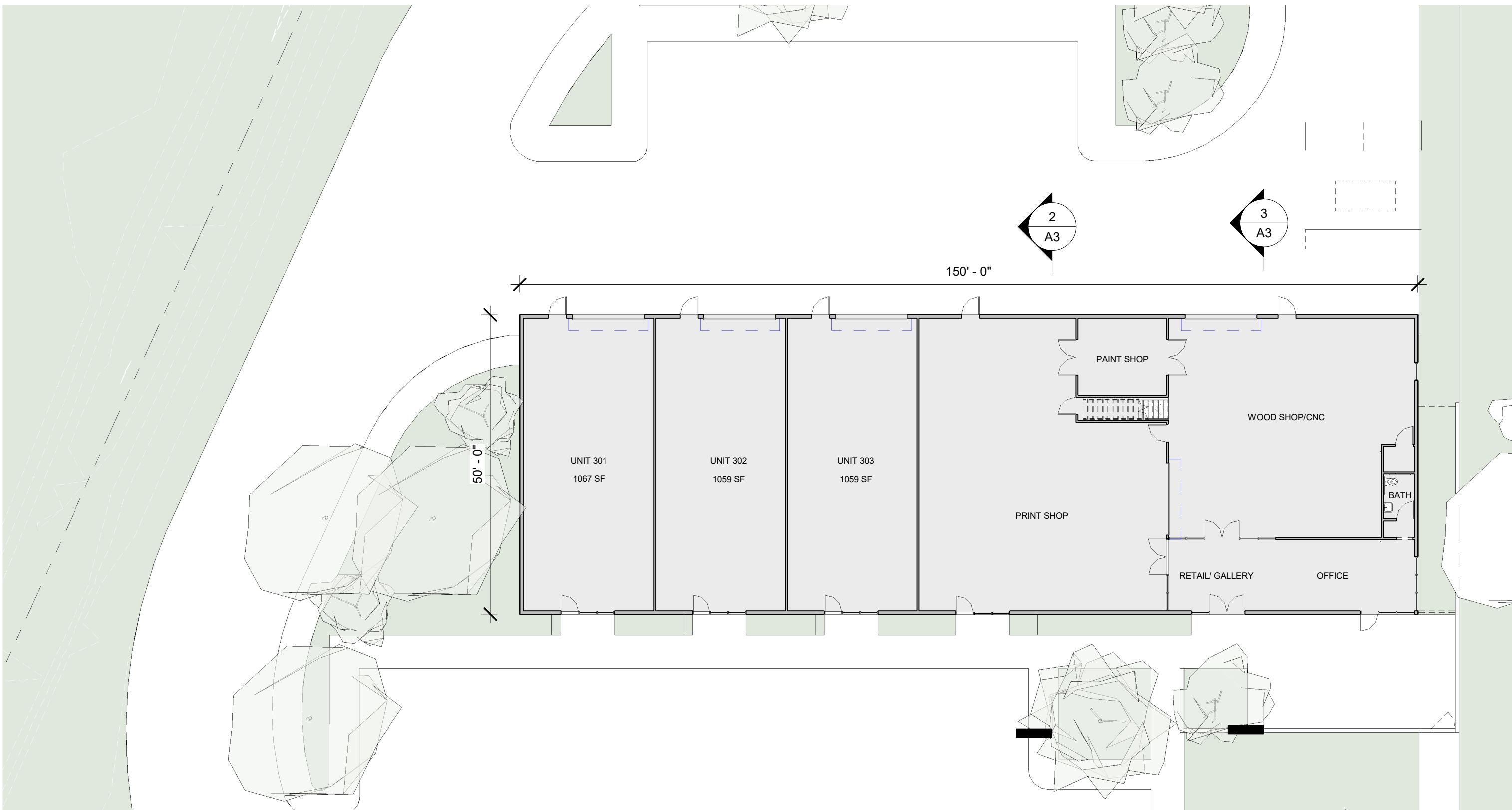
4 FRONT PERSPECTIVE PLAK THAT  
1/16" = 1'-0"



3 SECTION THRU WOODSHOP  
1/16" = 1'-0"



2 SECTION THRU PRINTSHOP  
1/16" = 1'-0"



1 PLAK THAT FLOOR PLAN  
1/16" = 1'-0"

THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE: 12/22/2023  
DRAWN BY: JS/FR  
DESIGNED BY: JS  
CHECKED BY: JS  
PROJECT NO: 2023.07

SHEET NAME:  
PLAK THAT  
FLOOR  
PLAN

SHEET NO:

A3

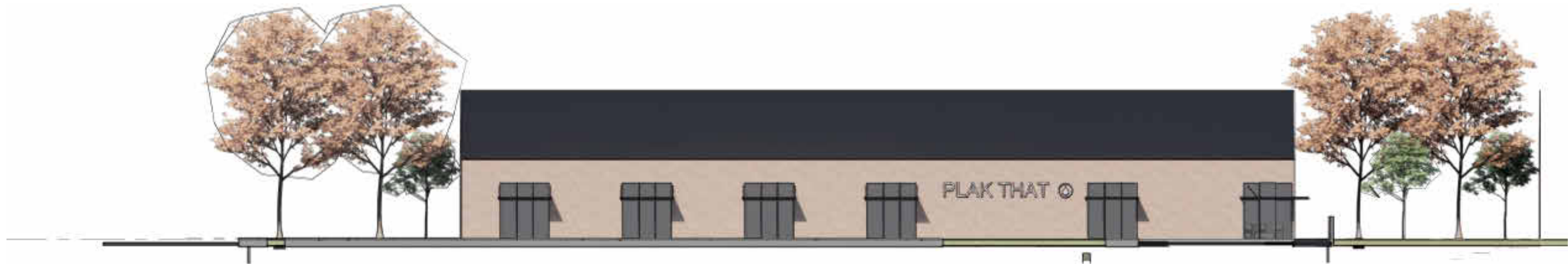




EAST ELEVATION



SOUTH ELEVATION



SOUTH ELEVATION PLAK THAT

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THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DAT 12/22/2023  
DRAWN Designer  
DESIGNED Author  
CHECKED BY  
PROJECT NO. 2023.07  
SHEET NAME  
ELEVATION

SHEET  
NO:

A4





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THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DAT	12/22/2023
DRAWN	Designer
DESIGNED	Author
CHECKED	Checker
PROJECT	2023.07

NO. 1  
SHEET NAME:  
RENDER  
TRAIN  
TRACK

SHEET  
NO:  
A5





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THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE	12/22/2023
DRAWN BY	Designer
DESIGNED BY	Author
CHECKED BY	Checker
PROJECT NO.	2023.07

RENDER  
SOUTH  
EAST

SHEET  
NO:  
**A6**





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THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DATE	12/22/2023
DRAWN	Designer
DESIGNED	Author
CHECKED	Checker
PROJECT	2023.07

NO. 1  
SHEET NAME:  
RENDER  
SOUTH  
COMMERCIAL

SHEET NO:

A7





JONATHON SELWAY, AIA

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SELBYVILLE, DE 19975

THE ORCHARDS  
OLD OCEAN CITY BLVD.  
BERLIN MD, 21811

DAT 12/22/2023  
DRAWN Designer  
DESIGNED BY Author  
CHECKED BY Checker  
PROJECT NO. 2023.07

RENDER  
SOUTH  
WEST

SHEET  
NO:

A8